

CITY OF ARCADIA

Arcadia Planning Commission Regular Meeting Agenda



Tuesday, February 9, 2021, 7:00 p.m.

COVID-19 NOTICE

As part of the City of Arcadia's COVID-19 transmission mitigation efforts, this meeting of the Arcadia Planning Commission will be conducted virtually and the public is discouraged from attending. Per the Brown Act, the public will still be provided the ability to make public comments. For members of the public who would like to participate virtually, the meeting will be streamed live on the City's website ArcadiaCA.gov/liveplanning and on ACTV.

How to Submit Public Comment:

1. **Email:** Please submit your comments via email to planning@ArcadiaCA.gov at least 30 minutes prior to the posted meeting time. Your comments should be 300 words or less.
2. **Phone:** A conference line has been established for public comment. Your call will be recognized in the order it was received. Please keep your phone on MUTE until you are recognized for public comment.

Conference Line: (786) 535-3211
Access Code: 524-582-021#

Please contact the Planning Division at planning@ArcadiaCA.gov or at (626) 574-5423 for more information.

新型冠状病毒 (COVID-19) 通知

作为阿凯迪亚市政府缓解 COVID-19 传播工作的一部分，本次阿凯迪亚市议会会议将以虚拟方式举行，不鼓励公众参加。根据《布朗法案》，仍将向公众提供发表评论意见的机会。对于希望以虚拟方式参加会议的公众，会议将在本市网站 ArcadiaCA.gov/liveplanning 和 ACTV 上进行现场直播。

如何提交公众评论意见:

1. **电子邮件:** 请通过向 planning@ArcadiaCA.gov 发电子邮件的方式提交您的评论意见，须在公布的会议时间至少提前 30 分钟收到提交的评论意见。您的电子邮件不得超过 300 个字。
2. **电话:** 已经为公众提交评论意见设立一条会议专线。公众打来的电话按先后顺序接听。您应当将您的电话设为“静音”，直至轮到您提出评论意见。

会议专线: (786) 535-3211
接入代码: 524-582-021#

详情请洽规划部，电子邮件 planning@ArcadiaCA.gov，电话号码 (626) 574-5423。

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such modification or accommodation from Planning Services at (626) 574-5423. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

根据《美国残障人法案》的规定，需要提供残障相关调整或便利设施才能参加会议的残障人士（包括辅助器材或服务），可向规划服务部请求获得此类调整或便利设施，电话号码 (626) 574-5423。请在会前 48 小时通知规划服务部，以便作出合理安排，确保顺利参加会议。

Pursuant to the City of Arcadia's Language Access Services Policy, limited-English proficient speakers who require translation services in order to participate in a meeting may request the use of a volunteer or professional translator by contacting the City Clerk's Office at (626) 574-5455 at least 72 hours prior to the meeting.

根据阿凯迪亚市的语言便利服务政策，英语能力有限并需要翻译服务才能参加会议的人可与市书记官办公室联系（电话：626-574-5455），请求提供志愿或专业翻译服务，请至少在会前 72 小时提出请求。

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Marilynne Wilander, Chair
Zi Lin, Vice Chair
Kenneth Chan, Commissioner
Brad Thompson, Commissioner
Vincent Tsoi, Commissioner

SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

PUBLIC COMMENTS (5 minute time limit per person)

Each speaker is limited to three (5) minutes per person, unless waived by the Planning Commission. Under the Brown Act, the Commission or Board Members are prohibited from discussing or taking action on any item not listed on the posted agenda.

PUBLIC HEARING

All interested persons are invited to appear at a public hearing and to provide evidence or testimony concerning any of the proposed items set forth below for consideration. Separate and apart from the applicant (who may speak longer in the discretion of the Commission) speakers shall be limited to **five (5) minutes per person**. The applicant may additionally submit rebuttal comments, at the discretion of the Commission.

You are hereby advised that should you desire to legally challenge in court or in an administrative proceeding any action taken by the City Council regarding any public hearing item, you may be limited to raising only those issues and objections you or someone else raised at the public hearing or in written correspondence delivered to the City Council at, or prior to, the public hearing.

CONTINUED FROM THE JANUARY 26, 2021 MEETING:

1. **Resolution No. 2071** – Approving Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), with a Categorical Exemption under the California Environmental Quality Act (CEQA) for a three-unit, multi-family residential condominium development at 147 Alice Street

Recommendation: Adopt Resolution No. 2071

Applicant: Tom Li of Prestige Design, Planning & Development, on behalf of the Property Owner, Soliel Homes, Inc.

There is a ten day appeal period after the adoption of the Resolution. If adopted, appeals are to be filed by 4:30 p.m. on February 19, 2021.

CONSENT CALENDAR

All matters listed under the Consent Calendar are considered to be routine and can be acted on by one roll call vote. There will be no separate discussion of these items unless members of the Commission, staff, or the public request that specific items be removed from the Consent Calendar for separate discussion and action.

2. Minutes of the January 26, 2021 Regular Meeting of the Planning Commission

Recommendation: Approve

MATTERS FROM CITY COUNCIL LIASION

MATTERS FROM PLANNING COMMISSIONERS

MATTERS FROM ASSISTANT CITY ATTORNEY

MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS

ADJOURNMENT

The Planning Commission will adjourn this meeting to Tuesday, February 23, 2021, at 7:00 p.m.



STAFF REPORT

Development Services Department

DATE: February 9, 2021

TO: Honorable Chairman and Planning Commission

FROM: Lisa L. Flores, Planning & Community Development Administrator
By: Luis Torrico, Senior Planner

SUBJECT: RESOLUTION NO. 2071 – CONTINUANCE OF MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 19-04 AND TENTATIVE PARCEL MAP NO. TPM 20-03 (83113), WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FOR A THREE-UNIT, MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT AT 147 ALICE STREET
Recommendation: Approve and Adopt Resolution No. 2071

SUMMARY

The Applicant, Tom Li of Prestige Design, Planning & Development, on behalf of the property owner, Soliel Homes Inc, is requesting approval of Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), for a new three (3) unit, three-story, multi-family residential condominium development at 147 Alice Street. At the January 26, 2021 meeting, two of the Planning Commissioners had concerns with the functionality of the ingress and egress at the site, and the functionality of the garages. After two failed motions, the Planning Commission agreed to continue the item, with a 4-0 vote, to the February 9, 2021 meeting when all five members will be present to provide an additional vote should there be another tie-vote.

The proposed development qualifies for a Categorical Exemption under the California Environmental Quality Act ("CEQA"). It is recommended that the Planning Commission approve MFADR 19-04 and TPM 20-03 (83113), approving the amended conditions of approval as listed later in this staff report and within the attachment of Resolution No. 2071 – refer to Attachment No. 1. The January 26, 2021 staff report and all the attachments, including one late comment from the public was provided under Attachment No. 7.

BACKGROUND

The subject property is a 7,500 square foot interior lot, located on the north side of Alice Street, between 1st and 2nd Avenues. The proposed development will consist of a three-unit, three-story, Spanish style multi-family residential condominium development with surface parking – refer to Attachment No. 2 for the proposed Architectural Plans. Each unit will vary between 1,659 to 2,177 square feet in floor area. The front unit will have direct access from Alice Street and the remaining two (2) units will have a pedestrian walkway along the west side of the property.

DISCUSSION

At the meeting, the Commission expressed concerns with both the current eviction laws and what authority the City has on this matter and whether vehicles can maneuver properly in terms of ingress and egress on the site due to the garage sizes and the building layout on this narrow lot. Although the staff report indicated that there are similar projects that were approved in the past by the Planning Commission, Commissioner Thompson referenced several articles and findings from a transportation engineer to support his analysis that the access is not functional. The third-party analysis submitted by Commissioner Thompson has been provided with this staff report – refer to the email and diagrams under Attachment No. 3. Vice Chair Lin and Commissioner Chan acknowledged that any development on these narrow lots tends to be tight since the buildings must also meet the minimum required setbacks. Further, the Development Code has a minimum garage dimension of 18'x19', which is not uncommon for multi-family developments. While there were concerns regarding the size and functionality of the proposed garage dimensions, Vice Chair Lin and Commissioner Chan stated that the project complies with the Development Code and felt that functionality concerns of the site's vehicular ingress and egress was not enough to deny the project. Commissioner Wilander felt that the site did not appear entirely functional and wanted additional information on this issue. In response to the Commissioner's comments and concerns, the Applicant presented images of the adjacent multi-family development, located at 155-159 Alice Street, which was approved with a similar vehicular ingress and egress configuration.

The Planning Commission could not reach a consensus on the project. While no additional studies of the site's vehicular ingress/egress were requested, the Planning Commission voted to continue the public hearing to the next meeting when all five Commissioners would be present.

After the January 26, 2021 Planning Commission meeting, Staff felt it was important to visit the development next door at 155-159 Alice Street since it has a very similar layout as the subject site – refer to the Site Plan under Attachment No. 5. The Applicant agreed to use his mid-size vehicle (Tesla) that was approximately 16'-6" in length to show a vehicle can adequately ingress and egress on the site and from the garage of Unit C, and the rear guest parking spaces. Access to the first two-unit garages (Units A & B) were unavailable as both units were occupied. A total of five videos were taken and have been provided as a part of this staff report – refer to Attachment No. 6. Below was Staff's observation:

- Unit C Garage:**
 The vehicle was able to enter the garage with no issue. In terms of backing out, it took four (4) maneuvers to exit from the garage.
- Guest Parking Space No. 1:**
 The vehicle was able to enter the parking space with three (3) maneuvers, and exit the space with two (2) maneuvers to exit forward.
- Guest Parking Space No. 2 (at the rear):**
 The vehicle required eight (8) maneuvers to exit backwards and it was tight. Had it been a smaller vehicle it would be easier for the car to back out. In addition, a car in this location can of course back straight down the driveway, which is also common in older multi-family projects.

Staff observed that while some of these maneuvers were tight, as is expected with these narrow lots, mid-size vehicles can enter and exit the garages and guest spaces, as proposed. However, having an extra two feet of concrete along the driveway instead of the landscape strip would help improve the on-site circulation. Therefore, Staff is recommending this change as a condition of approval.

In response to the Commission’s concerns with egress from the garage of Unit C, the Applicant revised the site plan so that the rear guest parking space is closer to the rear property line which will provide an additional 4’-6” of maneuvering space for vehicles to back out. As shown below and under Attachment No. 4.

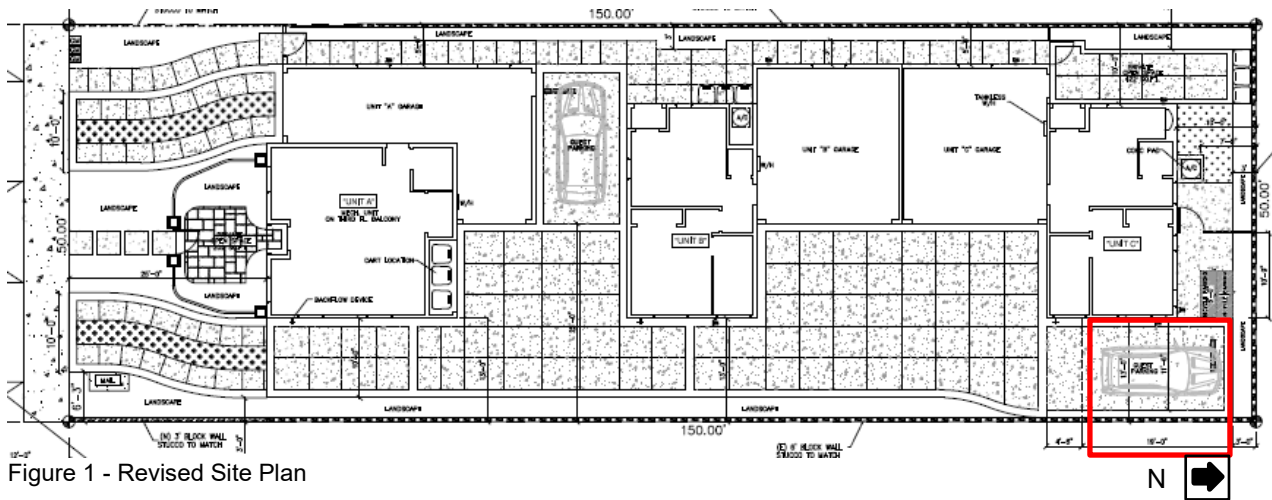


Figure 1 - Revised Site Plan

While Staff acknowledges that vehicular access for the proposed development will be tight, the project complies with Code and is functional for mid-size vehicles. The proposed changes of moving the rear guest space forward by another 4’-6” toward the rear property line, and replacing the landscape strip along the driveway with concrete which will expand the driveway by another 2’-0” will help improve maneuverability on the site. Therefore, Staff recommends that the Planning Commission approve the proposed project and adopt Resolution No. 2071, with the addition of two new conditions of approval, as listed below:

Proposed Conditions of Approval:

1. The guest space located at the rear of the property shall be moved forward 4'-6" to provide additional maneuvering space for vehicles to back out.
2. The 2'-0" landscaped strip along the east property line shall be replaced with concrete and become a part of the driveway area. This shall begin 40'-0" from the front property line to the end of the driveway.

It should also be noted that for these types of projects in the future, additional analysis will be provided on the functionality of all parking spaces. This may result in modified unit sizes, additional garage width and depth, or enhanced back up analysis to ensure that these projects are as accessible as they can be. It is important that there be a balance between allowing density where it has been directed by the General Plan, and ensuring sites are well planned.

PLANNING COMMISSION ACTION

Approval

If the Planning Commission intends to approve this project, the Commission should move to approve Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), state that the proposal satisfies the requisite findings, and adopt the attached Resolution No. 2071 that incorporates the requisite environmental and subdivision findings, and the conditions of approval as presented in this staff report, or as modified by the Commission.

Denial

If the Planning Commission is to deny this project, the Commission should state the specific findings that the proposal does not satisfy based on the evidence presented with specific reasons for denial, and move to deny Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113) and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission's decision and specific findings.

If any Planning Commissioner, or other interested party has any questions or comments regarding this matter prior to the February 9, 2021, Planning Commission Meeting, please contact Senior Planner, Luis Torrico at (626) 574-5442, or ltorrico@Arcadiaca.gov, or Planning & Community Development Administrator, Lisa Flores at (626) 574-5445, or lflores@Arcadiaca.gov.

Approved:



Lisa L. Flores
Planning & Community Development Administrator

- Attachment No. 1: Resolution No. 2071
- Attachment No. 2: Architectural Plans
- Attachment No. 3: Email and Diagrams provided by Commissioner Thompson
- Attachment No. 4: Revised Site Plan & Response from Applicant, dated February 2, 2021
- Attachment No. 5: Site Plan at 155-159 Alice Street
- Attachment No. 6: Videos of the mid-size vehicle and its maneuverability on February 2, 2021 – Click on this link to view the videos:
<https://drive.google.com/drive/folders/1aa23q-DpEGyQO7apVBtnAvr3LOIXNzu1?usp=sharing>
- Attachment No. 7: Planning Commission Staff Report with all the attachments, dated January 26, 2021
- Attachment No. 8: Preliminary Exemption Assessment

Attachment No. 1

Resolution No. 2071

RESOLUTION NO. 2071

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 19-04 AND TENTATIVE PARCEL MAP NO. TPM 20-03 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") FOR A THREE-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT LOCATED AT 147 ALICE STREET

WHEREAS, on October 19, 2019, Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 applications, collectively referred to as the "Project," were filed by Tom Li of Prestige Design, Planning & Development, on behalf of the property owner, Soliel Homes Inc, for a three-unit multi-family residential condominium development which requires subdivision of the airspace located at 147 Alice Street; and

WHEREAS, on December 28, 2020, Planning Services completed an environmental assessment for the Project in accordance with the California Environmental Quality Act ("CEQA") and recommended that the Planning Commission determine the Project is exempt under Section 15332 of the CEQA Guidelines (Review for Exemption) because the Project is considered an infill-development project; and

WHEREAS, on January 26, 2021, a duly noticed public hearing was held before the Planning Commission on said application, at which time all interested persons were given full opportunity to be heard and to present evidence; and

WHEREAS, on January 26, 2021, the Planning Commission continued the project with a 4-0 vote to the February 9, 2021 regular meeting, when all five members will be present to provide an additional vote should there be another tie-vote; and

WHEREAS, on February 9, 2021 the continued public hearing was held before the Planning Commission, at which all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Community Development Division in the staff report dated February 9, 2021 are true and correct.

SECTION 2. This Commission finds, based upon the entire record:

A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions Division of the Development Code:

FACT: The Project has been reviewed for compliance with the City's General Plan, Development Code, and the State Subdivision Map Act. It has been determined that the Project is consistent with the General Plan High Density Residential Land Use designation and the R-3, High Density Multiple Family Residential zoning designation. These designations are intended to accommodate high density, attached or detached residential units such as condominiums, within the appropriate neighborhoods. The proposed tentative parcel map complies with the Subdivision Map Act regulations and there is no specific plan applicable to this Project. The Project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development:

FACT: The project site is physically suitable for the proposed multi-family residential development. The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. Therefore, the Project complies with the density requirements of the underlying zone as well as all other applicable zoning requirements including but not limited to parking, setbacks, height, and open space.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat:

FACT: The Project is a subdivision of an infill site within an urbanized area and does not serve as a habitat for endangered or rare species. The Project will not cause substantial environmental damage or impact wildlife.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems:

FACT: The proposed subdivision will include three (3) multi-family residential units in compliance with all applicable Building and Fire Codes to ensure public health and safety. The Project will maintain a density that is allowed in the R-3 zone and the proposed development will not cause any public health or safety problems.

E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of record or to easements established by judgement of a court of competent jurisdiction and no authority is hereby granted to a legislature body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision):

FACT: The proposed design of the subdivision does not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision. There are no known easements on the subject property.

F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board:

FACT: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

G. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities:

FACT: The Project has been reviewed by Building Services to ensure compliance with the California Building Code, which includes requirements associated with heating and cooling requirements.

H. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulation of the Development Code and the regulations of any public agency having jurisdiction by law:

FACT: The proposed subdivision as conditioned, complies with the density requirements of the City's Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City's Development Code.

I. The proposal is consistent with the City's Multifamily Residential Design Guidelines:

FACT: The Project is located in the R-3 zone (High Density Multiple Family Residential), which is intended to provide high density residential development. The proposed design of the three-unit condominium project is compatible with existing multi-family developments in the surrounding neighborhood in terms of massing and scale. While the Project will be the first three-story development on this street, stepping the third floor from the street level by an additional 16 feet will help reduce the overall bulk and mass of the building, and the change in height will help transition with the other existing multi-family developments. The Project will also be similar in height to the 29-foot tall multi-family condominium development approved west and next door to the subject site. The proposed Spanish style architecture will be consistent with other Spanish influenced styles of architecture that exist along Alice Street, including the two recently completed adjacent

multi-family developments. In addition, the proposed design is consistent with the City's Multifamily Residential Design Guidelines.

SECTION 3. Pursuant to the provisions of the California Environmental Quality Act ("CEQA"), this Project is a Class 32 Categorical Exemption as an infill-development project per Section 15332 of the CEQA Guidelines.

SECTION 4. For the foregoing reasons the Planning Commission determines that the Project is Categorically Exempt under the California Environmental Quality Act ("CEQA") Section 15332 , Class 32, and approves Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113) for a three-unit multi-family residential condominium development at 147 Alice Street, subject to the conditions of approval attached hereto.

SECTION 5. The Secretary shall certify to the adoption of this Resolution.

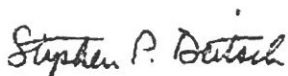
Passed, approved and adopted this 9th day of February, 2021.

Marilynne Wilander
Chair, Planning Commission

ATTEST:

Lisa L. Flores
Secretary

APPROVED AS TO FORM:



Stephen P. Deitsch
City Attorney

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RESOLUTION NO. 2071

Conditions of Approval

1. All the windows shall be recessed a minimum of two (2) inches from the building wall. A construction detail indicating the 2-inch recess shall be included on the plans submitted to the Building Division for plan check.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The project shall be developed and maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for MFADR 19-04 and TPM 20-03 (83113) subject to the approval of the Planning & Community Development Administrator, or designee.
4. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Electrical Code
 - c. California Mechanical Code
 - d. California Plumbing Code
 - e. California Energy Code
 - f. California Fire Code
 - g. California Green Building Standards Code
 - h. California Existing Building Code
5. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
6. Grading plans shall be submitted to, and approved by the Building Services Division. The grading plans shall indicate all on- and off-site improvements, and shall indicate complete drainage paths of all drainage water run-off.
7. A building permit shall be obtained prior to the removal and/or demolition of the structures.
8. Prior to approval of the Final Parcel Map, the Applicant/Property Owner shall:

- a. Remove and replace existing curb and gutter from property line to property line.
 - b. Construct sidewalk from property line to property line.
 - c. Install new driveway approaches (minimum 12' wide) per City's Standard Plan. Install transitions to the driveways just inside the property lines to transition from the 12.5' to the 10' wide driveway approaches.
 - d. Repair asphalt street damages caused by the development, as necessary.
9. The Applicant/Property Owner shall install, after coordinating with Public Works Services Department new street trees per the City's Street Tree Master Plan.
10. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department's Multi-Family Dwelling Sprinkler Standard.
11. There is a 6" cast iron water main with 72 psi static pressure that the development shall connect to on Alice Street for domestic water and/or fire services. The Applicant/Property Owner shall provide calculations to the Public Works Services Department to determine the total combined maximum domestic and fire demand, and verify the water service size required.
12. The Applicant/Property Owner shall install separate water meters for each condominium unit. The water meter for each unit can be used to supply both domestic water services and fire services. The Applicant/Property Owner shall separate the fire service from domestic water service with an approved back flow device.
13. All condominiums shall require a separate water service and meter for common area landscape irrigation.
14. A Water Meter Permit Application shall be submitted to the Public Works Services Department prior to issuance of a building permit for the new development.
15. New water service installations shall be by the Applicant/Property Owner. Installation shall be according to the specifications of the Public Works Services Department, Engineering Section. Abandonment of existing water services, if necessary, shall be carried out by the Applicant/Property Owner, according to Public Works Services Department, Engineering Division specifications.
16. An 8" vitrified clay pipe (VCP) City sewer line is available on Alice Street to provide sanitary sewer service for the project. The Applicant/Property Owner shall utilize existing sewer lateral if possible
17. If any drainage fixture elevation is lower than the elevation of the next upstream manhole cover (444.97'), an approved type of backwater valve is required to be installed on the lateral in the right of way.

18. The proposed project shall be subject to low impact development (LID) requirements. These requirements include but are not limited to using infiltration trenches, bio-retention planter boxes, roof drains connected to a landscaped area, pervious concrete/paver, etc.
19. The Applicant/Property Owner shall provide, and accommodate for, a total of three trash containers for trash, recycling and green waste for each unit, to the satisfaction of the Public Works Services Director, or designee.
20. The Applicant/Property Owner shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
21. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.
22. Approval of MFADR 19-04 and TPM 20-03 (83113) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The executed Acceptance Form submitted to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.
23. The guest space located at the rear of the property shall be moved forward 4'-6" to provide additional maneuvering space for vehicles to back out.

24. The 2'-0" landscaped strip along the east property line shall be replaced with concrete and become a part of the driveway area. This shall begin 40'-0" from the front property line to the end of the driveway.

Attachment No. 2

Architectural Plans

NEW 3-UNIT CONDOMINIUM

147 ALICE STREET
ARCADIA, CA. 91006

PROJECT INFORMATION

OWNER:
SOLEIL HOMES, INC.
C/O MAGGIE QIU
480 LAS TUNAS DRIVE
ARCADIA, CA 91007

OCCUPANCY GROUP: R3 and U

SPRINKLERED – PER CITY ORDINANCE
CODE 8130.14

APPLICABLE CODES / CODE COMPLIANCE
2019 CBC, CMC, CPC, CEC,
2019 TITLE – 24 ENERGY STANDARDS
2019 CALIFORNIA GREEN BUILDING CODE

APN # 5779-017-005
BUILDING TYPE: CONDOMINIUM
PROPERTY AREA (EXCLUDES CITY PARKWAY): 7,500 SQ FT.

PROPOSED 1ST FLOOR FOOTPRINT: 2,524 SQ FT.
NUMBER OF UNITS: 3
NUMBER OF FLOORS: 3

LANDSCAPE FRONT YARD CALCULATION
FRONT YARD AREA= 25' X 50' = 1,250 SQ FT.
MAX HARDSCAPE 40% OF FRONT YARD:
1,250 S.F. X 40% = 500 SQ.F.
PROPOSED HARDSCAPE: 500 SQ. F.

LOT COVERAGE CALCULATION
LOT SIZE = 7,500 SQ.F.
BUILDING COVERAGE= 2,524 SQ FT.
2,524 / 7,500 = 33.6%

PROJECT TABULATION

PROPOSED UNITS	A	B	C
FIRST FLOOR:	502 S.F.	439 S.F.	439 S.F.
SECOND FLOOR:	1,157 S.F.	901 S.F.	876 S.F.
THIRD FLOOR:		837 S.F.	775 S.F.
TOTAL S.F.:	1,659 S.F.	2,177 S.F.	2,090 S.F.
GARAGE:	439 S.F.	367 S.F.	367 S.F.
OPEN SPACE:	421 S.F.	250 S.F.	754 S.F.
BICYCLE PARKING:	2 PROVIDED		
GUEST PARKING:	2 PROVIDED		

CITY NOTES

FIELD VERIFICATION CONTROLLER:
1. VERIFY CONTROLLER INSTALLATION WHEN THE CONTROLLERS ARE INSTALLED BY THE CONTRACTOR AT THE TIME OF BUILDING FINAL.

WASTE NOTE:
1. MUST SAVE FOR RECYCLE OR RE-USE ATLEAST 50% OF THE NON HAZEROUS CONSTRUCTION AND DEMOLITION DEBRIS.

VERIFICATION NOTE:
1. FIELD VERIFICATION WILL BE PROVIDED BY A THIRD PARTY.

PLUMBING NOTE:
1. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS MENTIONED IN CGBC TABLE 4.304.1. CGBC 4303.3.

FIELD VERIFICATION:
1. DUCT SEALING, SUPPLY DUCT LOCATION, SURFACE AREA AND R-FACTOR.

SHEET INDEX

T1.0	COVER SHT, GENERAL NOTES
T1.1	SITE PLAN
A1.0	1ST FLOOR PLAN
A2.0	2ND FLOOR PLAN
A3.0	3RD FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATIONS, SECTION
A6.0	ELEVATIONS



REVISIONS

1.	
2.	
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3-UNIT CONDOMINIUM
155, 157 & 159 ALICE STREET
ARCADIA, CA. 91006

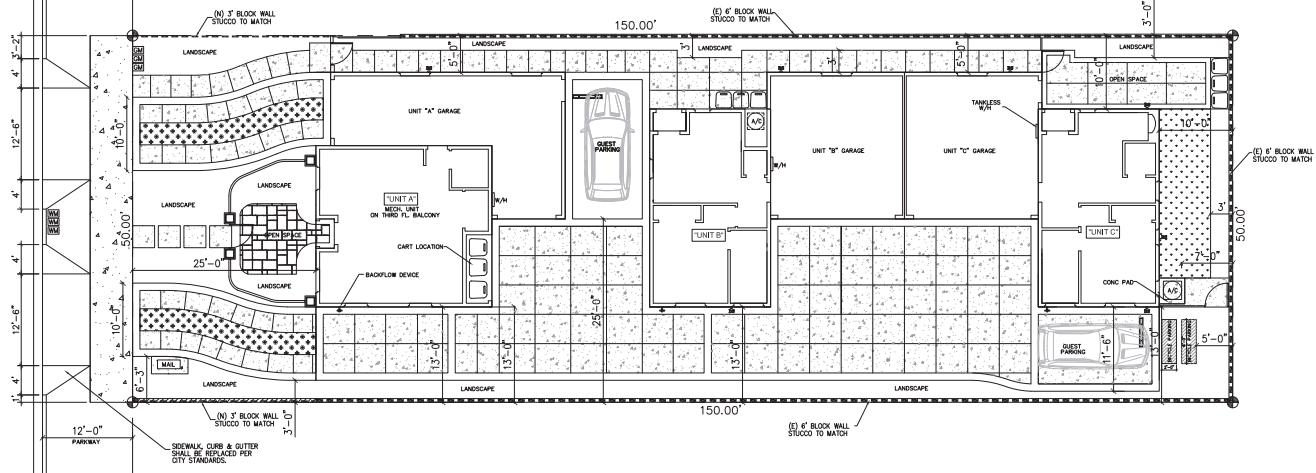
TITLE & PROJECT INFORMATION

12/10/2020

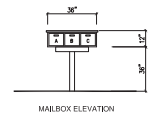
SHEET

T1.0

ALICE ST.



PROPOSED SITE PLAN
1/8" = 1'-0"



REVISIONS	
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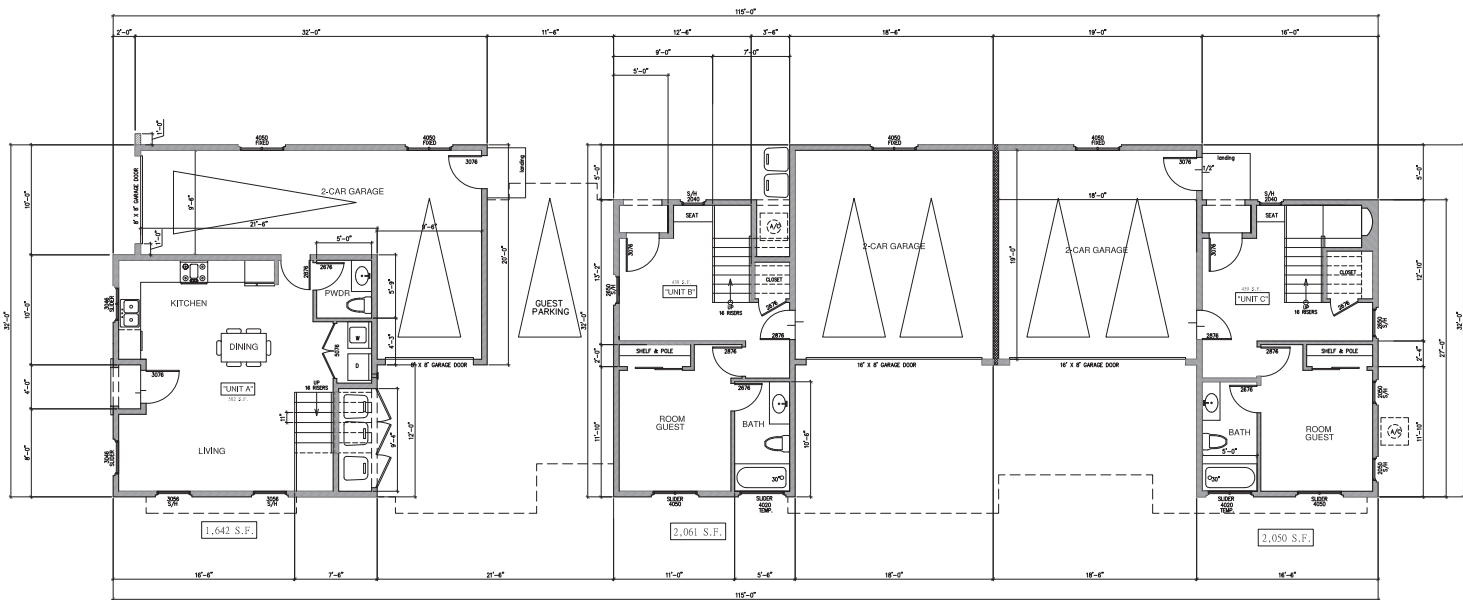
Prestige
Design, Planning, and Development, Inc.
P.O. Box 90007 Arcadia, CA 91709
TEL: 626-449-8877

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

TITLE & SITE PLAN

12/10/2020

SHEET
T1.1



PROPOSED 1ST FLOOR PLAN
3/16" = 1'-0"



REVISIONS	
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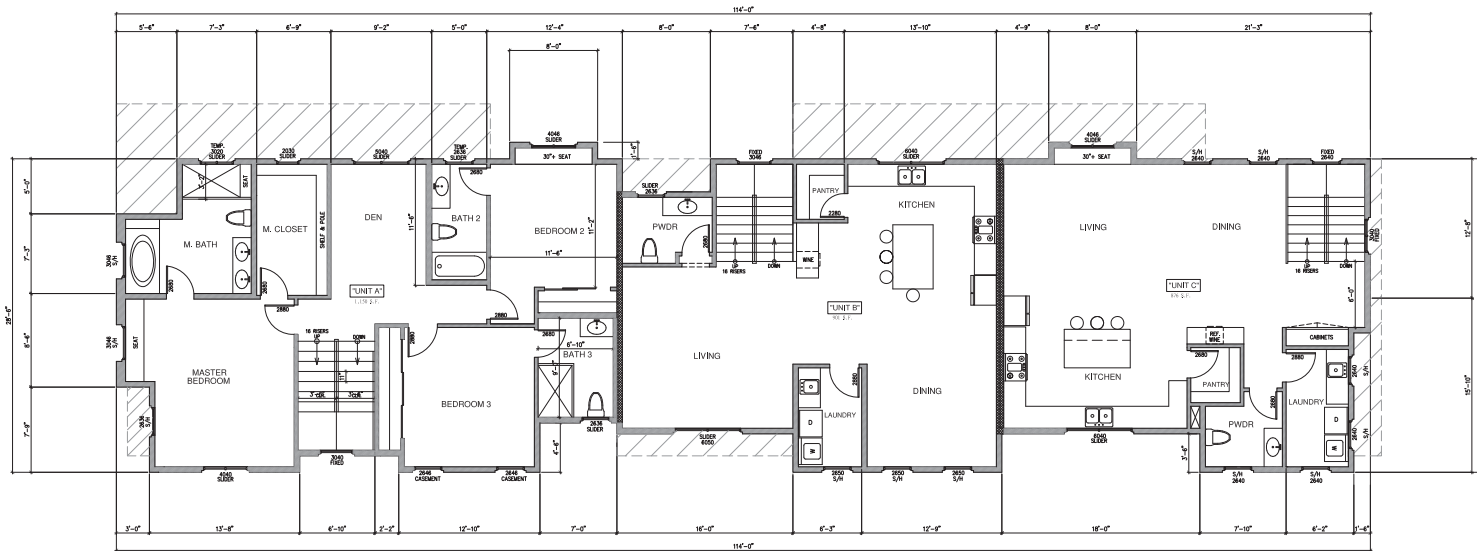
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P.O. Box 68000 Arcadia, CA 91006
TEL: 627.450.2222

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

FIRST FLOOR PLAN

12/10/2020

SHEET
A1.0



PROPOSED 2ND FLOOR PLAN
 $3/16" = 1'-0"$



REVISIONS	
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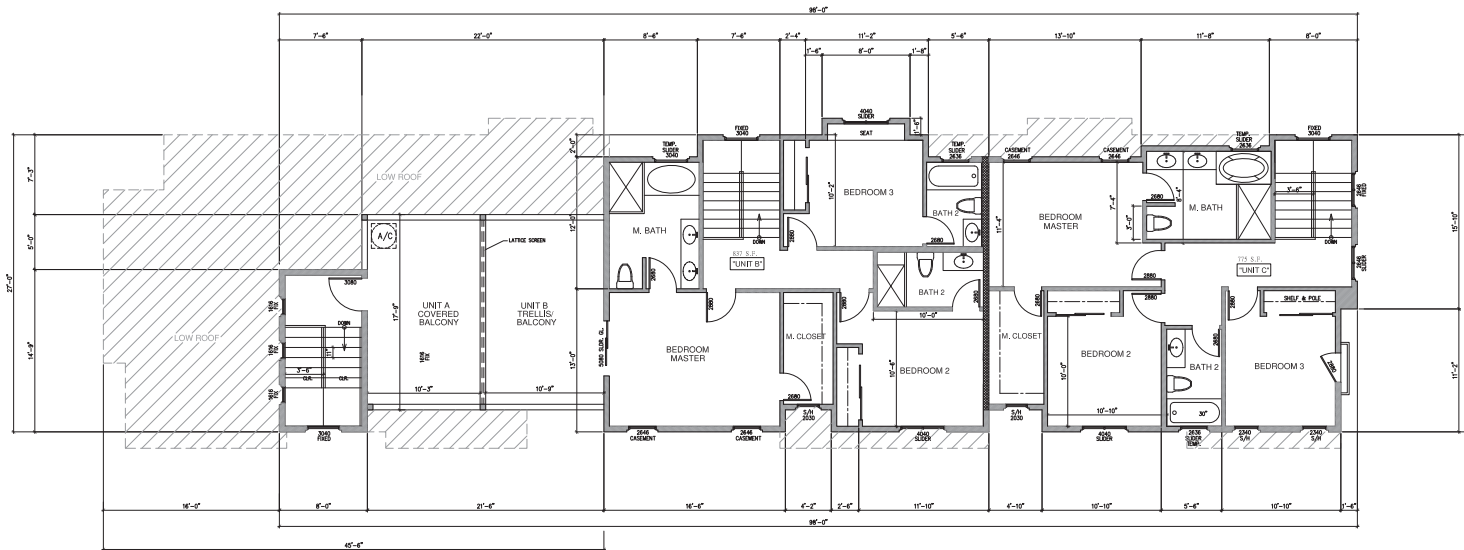
Prestige
 Design, Planning, and Development, Inc.
 P.O. Box 68000 Arcadia, CA 91006
 TEL: 626.441.2222

3-UNIT CONDOMINIUM
 147 ALICE STREET
 ARCADIA, CA. 91006

SECOND FLOOR PLAN

12/10/2020

SHEET
A2.0



PROPOSED 3RD FLOOR PLAN
3/16" = 1'-0"



REVISIONS	
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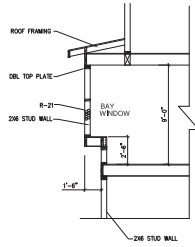
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TEL: 626-445-2222

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

THIRD FLOOR PLAN

12/10/2020

SHEET
A3.0



1 BAY WINDOW SECTION DETAIL



FRONT SOUTH ELEVATION
3/16" = 1'-0"

KEY NOTES:

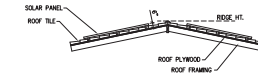
- 1 — CONC. TILE ROOF OVER 30 LBS. FELT ON ROOF SHEATHING (EAGLE ROOFING PRODUCT)
- 2 — LA HABRA STUCCO— MERLEX P-174 DESERT BEIGE. OR EQUIVALENT.
- 3 — #26 G.A. G.I. FLASHING AT VALLEYS (TYP.) VIEJO WHITE MS-25 COLOR.
- 4 — ALL WINDOW AND DOOR PRECAST MOULDING (COLOR= SALERNO 45) 4" WIDE PRE-CAST CONCRETE ALL ELEVATIONS. MANUFACTURER— PACIFIC STONE OR EQUIVALENT.
- 5 — N/A
- 6 — VINYL WINDOW GRIDS TO BE TAN COLOR OR EQUIVALENT. MANUFACTURER JELD-WEN. SIMULATED LITES.
- 7 — PRE-FAB CONCRETE TRIM (PRE-CAST) SALERNO 45— OR EQUIVALENT.
- 8 — N/A
- 9 — FASCIA PAINTED— DUNN-EDWARDS DEC756 WEATHERED BROWN
- 10 — EXTERIOR DOOR (CHOCOLATE COLOR)
- 11 — WOOD DOOR BY BORANO DOORS, PAINTED DUNN-EDWARDS DEA161 WILD MUSTANG.
- 12 — AMARR GARAGE DOORS (BROWN COLOR OR EQUIVALENT)
- 13 — LIGHT FIXTURE (PROGRESS LIGHTING) 1—LIGHT WALL LANTERN. HT. 15".
- 14 — RAIN GUTTER— COLOR COATES ALUMINUM, MATTE BLACK COLOR.

GENERAL NOTE:

- 1. RAIN GUTTER TO MATCH FASCIA COLOR & DOWN SPOUT TO MATCH EXTERIOR WALL.
- 2. A SMOOTH-TROWELED FINISH SHALL BE USED FOR THE STUCCO.
- 3. ALL WINDOWS TO BE RECESSED A MIN. OF 2" AT EXTERIOR WALL.

EXTERIOR FINISH NOTE

- 1. EXTERIOR PLASTER (STUCCO) 3/8" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PER [CRC 2510.6]. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING.



2 SOLAR PANEL SECTION DETAIL



REAR NORTH ELEVATION
3/16" = 1'-0"

REVISIONS

1.	
2.	
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4.	

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Design, Planning, and Development, Inc.
P.O. Box 66000 Arcadia, CA 91006
TEL: 627-1000 FAX: 627-1001



3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

ELEVATIONS

12/10/2020

SHEET

A5.0

REVISIONS	
1.	
2.	
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4.	

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3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

ELEVATIONS

12/10/2020

SHEET
A6.0



RIGHT EAST ELEVATION
3/16" = 1'-0"

KEY NOTES:

- | | | |
|---|---|--|
| <p>1 — CONC. TILE ROOF OVER 30 LBS. FELT ON ROOF SHEATHING (EAGLE ROOFING PRODUCT)</p> <p>2 — LA HABRA STUCCO— MERLEX P-174 DESERT BEIGE. OR EQUIVALENT.</p> <p>3 — #26 G.A. G.I. FLASHING AT VALLEYS (TYP.) VIEJO WHITE MS-25 COLOR.</p> <p>4 — ALL WINDOW AND DOOR PRECAST MOULDING (COLOR= SALERNO 45) 4" WIDE PRE-CAST CONCRETE ALL ELEVATIONS. MANUFACTURER— PACIFIC STONE OR EQUIVALENT.</p> <p>5 — N/A</p> | <p>6 — VINYL WINDOW GRIDS TO BE TAN COLOR OR EQUIVALENT. MANUFACTURER JELD-WEN. SIMULATED LITES.</p> <p>7 — PRE-FAB CONCRETE TRIM (PRE-CAST) SALERNO 45— OR EQUIVALENT.</p> <p>8 — EXTERIOR AWNING— FABRIC MATERIAL</p> <p>9 — FASCIA PAINTED— DUNN-EDWARDS DEC756 WEATHERED BROWN</p> <p>10 — EXTERIOR DOOR (CHOCOLATE COLOR)</p> <p>11 — WOOD DOOR BY BORANO DOORS, PAINTED DUNN-EDWARDS DEA161 WILD MUSTANG.</p> | <p>12 — AMARR GARAGE DOORS (BROWN COLOR OR EQUIVALENT)</p> <p>13 — LIGHT FIXTURE (PROGRESS LIGHTING) 1—LIGHT WALL LANTERN. HT. 15".</p> <p>14 — RAIN GUTTER— COLOR COATES ALUMINUM, MATTE BLACK COLOR.</p> |
|---|---|--|

GENERAL NOTE:

1. RAIN GUTTER TO MATCH FASCIA COLOR & DOWN SPOUT TO MATCH EXTERIOR WALL.
 2. A SMOOTH-TROWELED FINISH SHALL BE USED FOR THE STUCCO.
 3. ALL WINDOWS TO BE RECESSED A MIN. OF 2" AT EXTERIOR WALL.
- EXTERIOR FINISH NOTE**
1. EXTERIOR PLASTER (STUCCO) 5/8" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PER [CRC 2510.6]. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING.



LEFT WEST ELEVATION
3/16" = 1'-0"

PLANTING LEGEND

SHRUBS

- 15 GAL. PRUNUS CAROLINIANA 'COMPACTA' CAROLINA CHERRY (M) @ 4" O.C.
- 5 GAL. CUPRESSUS S. 'MONSIEUR' TINY TOWER ITALIAN CYPRESS (L) @ 36" O.C.

SHRUBS

- 5 GAL. SALVIA L. 'SANTA BARBARA' MEXICAN SAGE BUSH (L) @ 24" O.C.
- 5 GAL. CALLISTEMON 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH (L) @ 24" O.C.
- 5 GAL. JUNCUS PATENS CALIFORNIA GREY RUSH (L) @ 24" O.C.
- 5 GAL. DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY (L) @ 24" O.C.
- 5 GAL. ROSA 'MIDLAND PINK' PINK MIDLAND SHRUB ROSE (M) @ 24" O.C.
- 5 GAL. RHAPHIOLEPIS U. 'MINOR' DWARF YEDDO HAWTHORN (M) @ 36" O.C.
- 5 GAL. LAVANDULA 'HIDCOTE BLUE' 'HIDCOTE BLUE' LAVENDER (L) @ 24" O.C.
- 5 GAL. COLCONEA PULCHRUM PINK BREATH OF HEAVEN (M) @ 36" O.C.

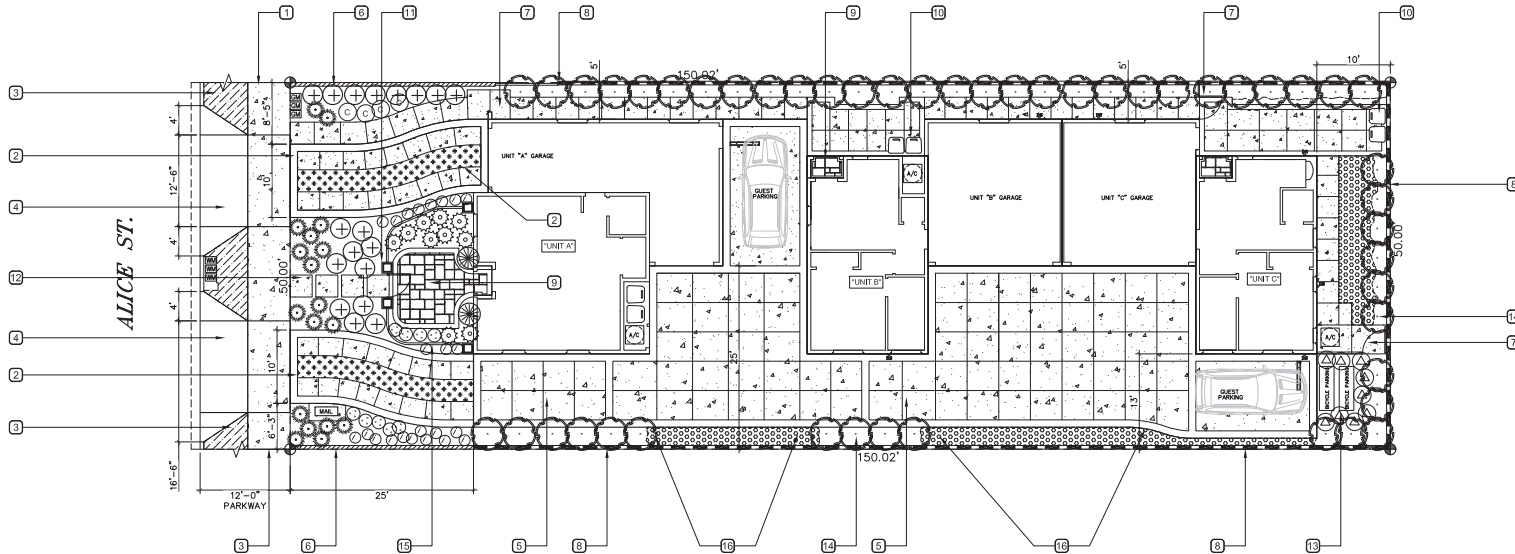
SHRUBS

- 1 GAL. LANIGOZANTHOS 'RED STAR' RED KANGAROO PAW (L) @ 18" O.C.
 - 1 GAL. LANTANA 'NEW GOLD' DWARF LANTANA (L) @ 18" O.C.
 - 1 GAL. DYMONDIA MARGARETAE SILVER CARPET (L) @ 8" O.C.
 - 1 GAL. FESTUCA 'ELIJAH BLUE' BLUE FESCUE (M) @ 12" O.C.
- ARTIFICIAL TURF

DESCRIPTIONS:

1. EXISTING SIDEWALK
2. NEW ACID WASH CONCRETE DRIVEWAY WITH 36" ARTIFICIAL GRASS STRIP
3. REMOVE EXISTING TURF AND PLANT NEW DROUGHT TOLERANT GROUND COVER IN PARKWAY
4. NEW DRIVE APPROACH
5. NEW CONCRETE DRIVEWAY WITH 12" SCORED BORDER, STRAIT PATTERN AS SHOWN
6. NEW 36" CMU WALL WITH STUCCO TO MATCHING BUILDING
7. NEW 6" W.I. SIDE GATE ATTACHED TO NEW 6" W.I. FENCE, W.I. FENCE TO CONNECT TO EXISTING 6" CMU WALL
8. EXISTING 6" CMU PROPERTY WALL TO REMAIN WITH NEW STUCCO COLOR TO MATCHING BUILDING
9. NEW STONE PAVERS AT PORCH; TYP.
10. AREA INDICATES TRASH RECEPTACLE LOCATIONS
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12. NEW CONCRETE STEPPING STONE WITH 6" CRUSHED GRAVEL GAP
13. AREA INDICATES SPACE FOR BICYCLE PARKING/RACKS
14. NEW 'CAROLINA CHERRY' TALL SCREEN HEDGE ALONG PROPERTY WALL PER PLANNING CONDITION
15. NEW 36" HT. W.I. FENCE FOR UNIT-A
16. GROUND COVER FOR CAR-OVER-HANG, 25' FROM PARKING BACK-OUT SPACES

- NOTE:**
1. APPLY 3" MIN. OF ORGANIC BARK MULCH IN ALL FINISHED GRADE AFTER PLANTING
 2. MUCOLS REGION 4 HYDROZONE: (L)W, (W)T WARM SEASON TURF



TWO TREES DESIGN, INC.
 LANDSCAPE ARCHITECTURAL DESIGN SERVICES
 1155 S. STATE ST. SUITE 207 WEST COVINA, CA. 91792
 (626) 971-8881
 www.treetreesdesign.com



**CONCEPTUAL
 LANDSCAPE PLAN**

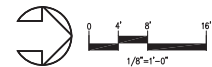
3-UNIT CONDOMINIUM

147 ALICE ST.
 ARCADIA, CA. 91006

DATE	REVISIONS

SCALE	AS SHOWN
DATE	11-20-2020
PROJECT NO.	F1914
DRAWN BY	HTF
CHECKED BY	

SHEET NO.
 OF 1 SHEETS



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Attachment No. 3

Email & Diagrams provided by
Commissioner Thompson

Email from Transportation Engineer

From: Dilesh Sheth <dilesh.sheth@webbassociates.com>
Sent: Monday, January 25, 2021 5:27 PM
To: Brad Thompson <bthompson@thompsonvaluation.com>
Cc: Matthew Webb <matt.webb@webbassociates.com>; Nicholas Lowe <nick.lowe@webbassociates.com>
Subject: FW: Planning Commission Input (Arcadia)

Brad,

Please see Nick's email and analysis below.

If you have any questions, please let us know.

Dilesh R. Sheth, PE | TE - Senior Vice President

Albert A. Webb Associates

3788 McCray Street, Riverside, CA 92506

t: 951.248.4237 m: 951.830.4305

e: dilesh.sheth@webbassociates.com w: www.webbassociates.com

[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Nicholas Lowe <nick.lowe@webbassociates.com>

Sent: Monday, January 25, 2021 4:52 PM

To: Dilesh Sheth <dilesh.sheth@webbassociates.com>

Subject: RE: Planning Commission Input (Arcadia)

See attached for the three different cars.

It is very difficult to get into the Unit A garage. If the car is able to enter the garage head-in somehow, backing out of the garage into the main drive aisle to leave the development is not possible. To get in, the car has to back into the garage. However, once the car backs into the garage, it is not possible to leave without turning further into the drive aisle and backing up onto Alice Street. Not able to leave onto Alice Street head-out.

Unit B has similar issues as Unit A.

Unit C is relatively easy to access, but difficult to exit. Needs at least 1 extra maneuver for the far right garage space depending on the size of vehicle to back out of the garage. The possibility of this movement can also depend on if a vehicle is parked in the guest space.

Overall, the drive aisle and access to garages is extremely tight. Only a very small vehicle would be able to make some of these turns. It is not convenient at all to park vehicles in garage locations for each unit. Unit A is unable to have vehicles exit the development head-on while Units B and C would only be able to comfortably park 1 car.

Nicholas R. Lowe, MS|PE - Senior Engineer

Albert A. Webb Associates

3788 McCray Street, Riverside, CA 92506

t: 951.248.4289

e: nick.lowe@webbassociates.com w: www.webbassociates.com

[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Matthew Webb <matt.webb@webbassociates.com>

Sent: Monday, January 25, 2021 2:59 PM

To: Dilesh Sheth <dilesh.sheth@webbassociates.com>
Cc: Brad Thompson <bthompson@thompsonvaluation.com>
Subject: FW: Planning Commission Input (Arcadia)

Dilesh, could you give Brad some quick input on this via email? One question I have is whether the garages have clear space of 18' x 19'. Dilesh, we are trying to help Brad get ready for a planning commission meeting tomorrow night.

Matthew E. Webb, PE | TE | LLS - President/Chief Executive Officer
Albert A. Webb Associates
3788 McCray Street, Riverside, CA 92506
t: 951.686.1070
e: matt.webb@webbassociates.com w: www.webbassociates.com
[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Brad Thompson <bthompson@thompsonvaluation.com>
Sent: Monday, January 25, 2021 2:22 PM
To: Matthew Webb <matt.webb@webbassociates.com>
Subject: FW: Planning Commission Input (Arcadia)

Matt:

Aside from the garages only being 18' x 19', I have some other concerns:

- 1) Ingress to Unit A driveway-facing space doesn't appear feasible without a 3-point turn maneuver. Also, a backing sight/view hazard may exist.
- 2) Ingress to Unit B southerly driveway-facing space doesn't appear feasible without a 3-point turn maneuver. Also, a backing sight/view hazard may exist.
- 3) Egress from Unit C northerly driveway-facing space doesn't appear feasible without backing all the way out of the driveway in reverse

Just looking for your opinion to make sure that my observations are in line.

Brad

Bradford Thompson, MAI, AI-GRS, SR/WA

Phone: 626.317.5158

Fax: 626.317.5168

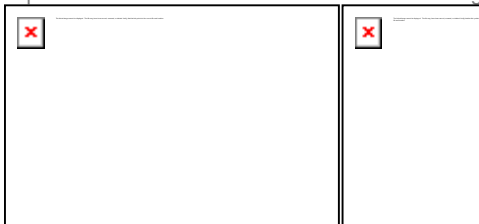
bthompson@thompsonvaluation.com

www.thompsonvaluation.com



THOMPSON & THOMPSON
REAL ESTATE VALUATION AND CONSULTING
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PLANTING LEGEND

SHRUBS

- 15 GAL PRUNUS CAROLINIANA 'COMPACTA' CAROLINA CHERRY (M) @ 4" O.C.
- 5 GAL CUPRESSUS S. 'MONSIEUR' TINY TOWER ITALIAN CYPRESS (L) @ 36" O.C.

SHRUBS

- 5 GAL SALVIA L. 'SANTA BARBARA' MEXICAN SAGE BUSH (L) @ 24" O.C.
- 5 GAL CALLISTEMON 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH (L) @ 24" O.C.
- 5 GAL JUNCUS PATENS CALIFORNIA GREY RUSH (L) @ 24" O.C.
- 5 GAL DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY (L) @ 24" O.C.
- 5 GAL ROSA 'MEDILAND PINK' PINK MEDILAND SHRUB ROSE (M) @ 24" O.C.
- 5 GAL RHAPHIOLEPIS U. 'MINOR' DWARF YEDDO HAWTHORN (M) @ 36" O.C.
- 5 GAL LAVANDULA 'HIDCOTE BLUE' 'HIDVOTE BLUE' LAVENDER (L) @ 24" O.C.
- 5 GAL COLEONEMA PULCHRUM PINK BREATH OF HEAVEN (M) @ 36" O.C.

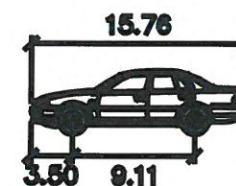
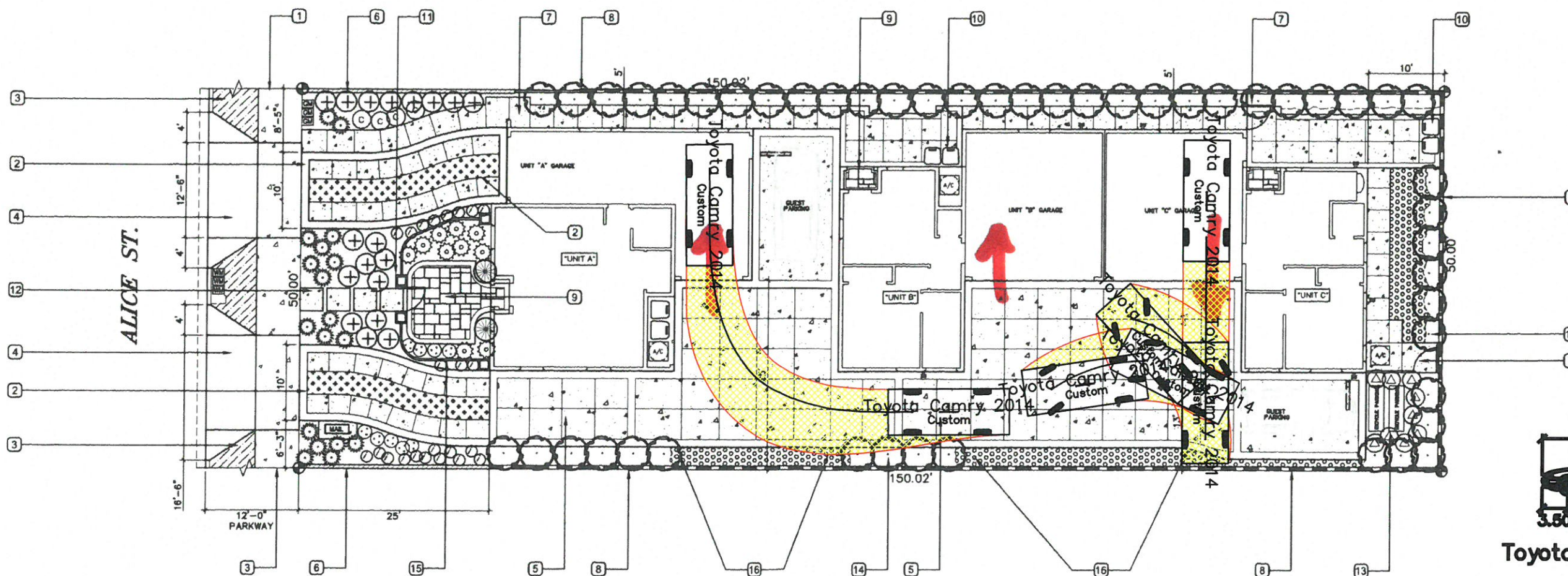
SHRUBS

- 1 GAL ANIGOZANTHOS 'RED STAR' RED KANGAROO PAW (L) @ 18" O.C.
- 1 GAL LANTANA 'NEW GOLD' DWARF LANTANA (L) @ 18" O.C.
- 1 GAL DYMONDIA MARGARETAE SILVER CARPET (L) @ 8" O.C.
- 1 GAL FESTUCA 'ELIJAH BLUE' BLUE FESCUE (M) @ 12" O.C.
- ARTIFICIAL TURF

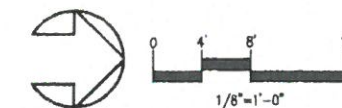
DESCRIPTIONS:

1. EXISTING SIDEWALK
2. NEW ACID WASH CONCRETE DRIVEWAY WITH 36" ARTIFICIAL GRASS STRIP
3. REMOVE EXISTING TURF AND PLANT NEW DROUGHT TOLERANT GROUND COVER IN PARKWAY
4. NEW DRIVE APPROACH
5. NEW CONCRETE DRIVEWAY WITH 12" SCORED BORDER, STRAIT PATTERN AS SHOWN
6. NEW 36" CMU WALL WITH STUCCO TO MATCHING BUILDING
7. NEW 6" W.I. SIDE GATE ATTACHED TO NEW 6' W.I. FENCE, W.I. FENCE TO CONNECT TO EXISTING 6' CMU WALL
8. EXISTING 6' CMU PROPERTY WALL TO REMAIN WITH NEW STUCCO COLOR TO MATCHING BUILDING
9. NEW STONE PAVERS AT PORCH; TYP.
10. AREA INDICATES TRASH RECEPTACLE LOCATIONS
11. NEW 36" HT. X 24" SQ. 'UNIT-A' PEDESTRIAN GATE
12. NEW CONCRETE STEPPING STONE WITH 6" CRUSHED GRAVEL GAP
13. AREA INDICATES SPACE FOR BICYCLE PARKING/RACKS
14. NEW 'CAROLINA CHERRY' TALL SCREEN HEDGE ALONG PROPERTY WALL PER PLANNING CONDITION
15. NEW 36" HT. W.I. FENCE FOR UNIT-A
16. GROUND COVER FOR CAR OVER-HANG, 25' FROM PARKING BACK-OUT SPACES

NOTE:
 1. APPLY 3" MIN. OF ORGANIC BARK MULCH IN ALL FINISHED GRADE AFTER PLANTING
 2. WUCOLS REGION 4 HYDROZONE: (L)OW, (W)ST WARM SEASON TURF



Toyota Camry 2014
 feet
 Width : 3.50
 Track : 5.98
 Lock to Lock Time : 6.0
 Steering Angle : 34.4



3-UNIT CONDOMINIUM

DATE
 SCALE
 DATE
 PROJECT NO.
 DRAWN BY
 CHECKED BY

PLANTING LEGEND

SHRUBS

- 15 GAL PRUNUS CAROLINIANA 'COMPACTA' CAROLINA CHERRY (M) @ 4' O.C.
- 5 GAL CUPRESSUS S. 'MONSIEUR' TINY TOWER ITALIAN CYPRESS (L) @ 36" O.C.

SHRUBS

- 5 GAL SALVIA L. 'SANTA BARBARA' MEXICAN SAGE BUSH (L) @ 24" O.C.
- 5 GAL CALLISTEMON 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH (L) @ 24" O.C.
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- 5 GAL DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY (L) @ 24" O.C.
- 5 GAL ROSA 'MEIDLAND PINK' PINK MEIDLAND SHRUB ROSE (M) @ 24" O.C.
- 5 GAL RHAPHIOLEPIS U. 'MINOR' DWARF YEDDO HAWTHORN (M) @ 36" O.C.
- 5 GAL LAYANDULA 'HIDCOTE BLUE' 'HIDCOTE BLUE' LAVENDER (L) @ 24" O.C.
- 5 GAL COLEONEMA PULCHRUM PINK BREATH OF HEAVEN (M) @ 36" O.C.

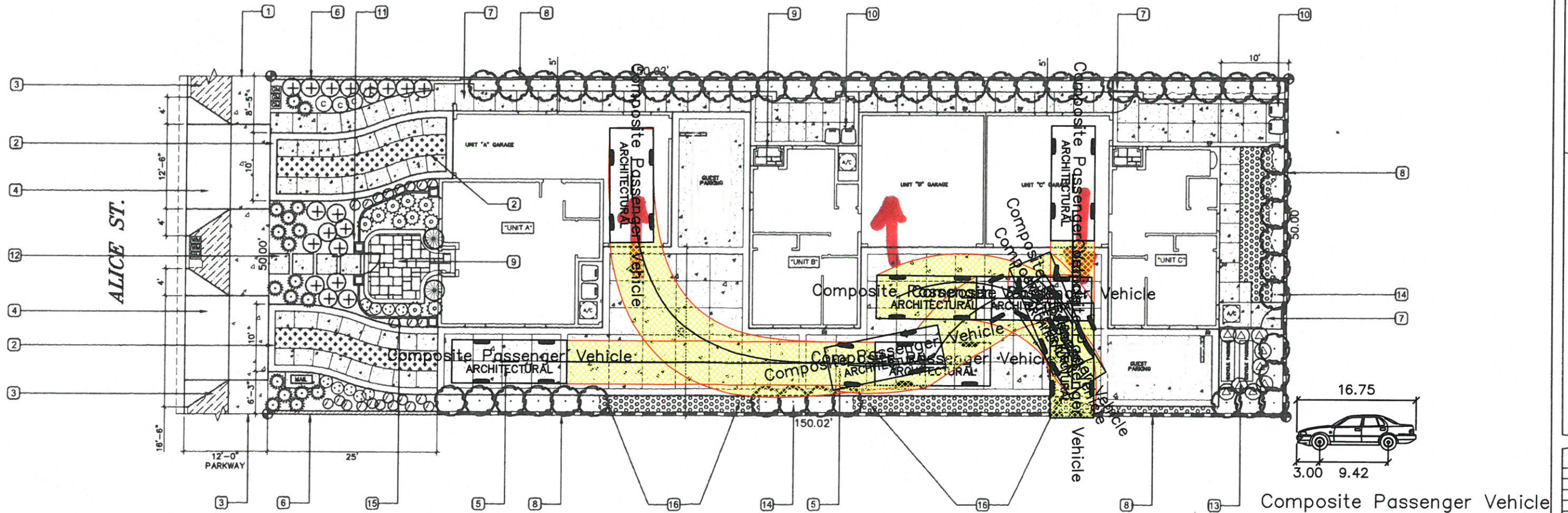
SHRUBS

- 1 GAL ANIGONANTHOS 'RED STAR' RED KANGAROO PAW (L) @ 18" O.C.
- 1 GAL LANTANA 'NEW GOLD' DWARF LANTANA (L) @ 18" O.C.
- 1 GAL DYMONDIA MARGARETAE SILVER CARPET (L) @ 8" O.C.
- 1 GAL FESTUCA 'ELIJAH BLUE' BLUE FESCUE (M) @ 12" O.C.
- ARTIFICIAL TURF

NOTE:
 1. APPLY 3" MIN. OF ORGANIC BARK MULCH IN ALL FINISHED GRADE AFTER PLANTING
 2. WUCOLS REGION 4 HYDROZONE: (L)OW, (W)ST WARM SEASON TURF

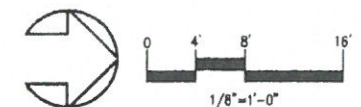
DESCRIPTIONS:

1. EXISTING SIDEWALK
2. NEW ACID WASH CONCRETE DRIVEWAY WITH 36" ARTIFICIAL GRASS STRIP
3. REMOVE EXISTING TURF AND PLANT NEW DROUGHT TOLERANT GROUND COVER IN PARKWAY
4. NEW DRIVE APPROACH
5. NEW CONCRETE DRIVEWAY WITH 12" SCORED BORDER, STRAIT PATTERN AS SHOWN
6. NEW 36" CMU WALL WITH STUCCO TO MATCHING BUILDING
7. NEW 6" W.I. SIDE GATE ATTACHED TO NEW 6" W.I. FENCE, W.I. FENCE TO CONNECT TO EXISTING 6" CMU WALL
8. EXISTING 6" CMU PROPERTY WALL TO REMAIN WITH NEW STUCCO COLOR TO MATCHING BUILDING
9. NEW STONE PAVERS AT PORCH; TYP.
10. AREA INDICATES TRASH RECEPTACLE LOCATIONS
11. NEW 36" HT. X 24" SQ. 'UNIT-A' PEDESTRIAN GATE
12. NEW CONCRETE STEPPING STONE WITH 6" CRUSHED GRAVEL GAP
13. AREA INDICATES SPACE FOR BICYCLE PARKING/RACKS
14. NEW 'CAROLINA CHERRY' TALL SCREEN HEDGE ALONG PROPERTY WALL PER PLANNING CONDITION
15. NEW 36" HT. W.I. FENCE FOR UNIT-A
16. GROUND COVER FOR CAR OVER-HANG, 25' FROM PARKING BACK-OUT SPACES



Composite Passenger Vehicle



feet	
Width	: 6.33
Track	: 6.33
Lock to Lock Time	: 6.0
Steering Angle	: 26.4



DATE	
SCALE	
PROJECT	
DRAWN BY	
CHECKED	

PLANTING LEGEND






SHRUBS

-  15 GAL. PRUNUS CAROLINIANA 'COMPACTA' CAROLINA CHERRY (M) ● 4' O.C.
-  5 GAL. CUPRESSUS S. 'MONSHEL' TINY TOWER ITALIAN CYPRESS (L) ● 36" O.C.

SHRUBS

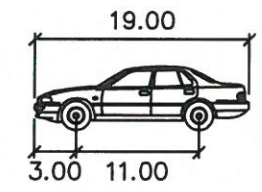
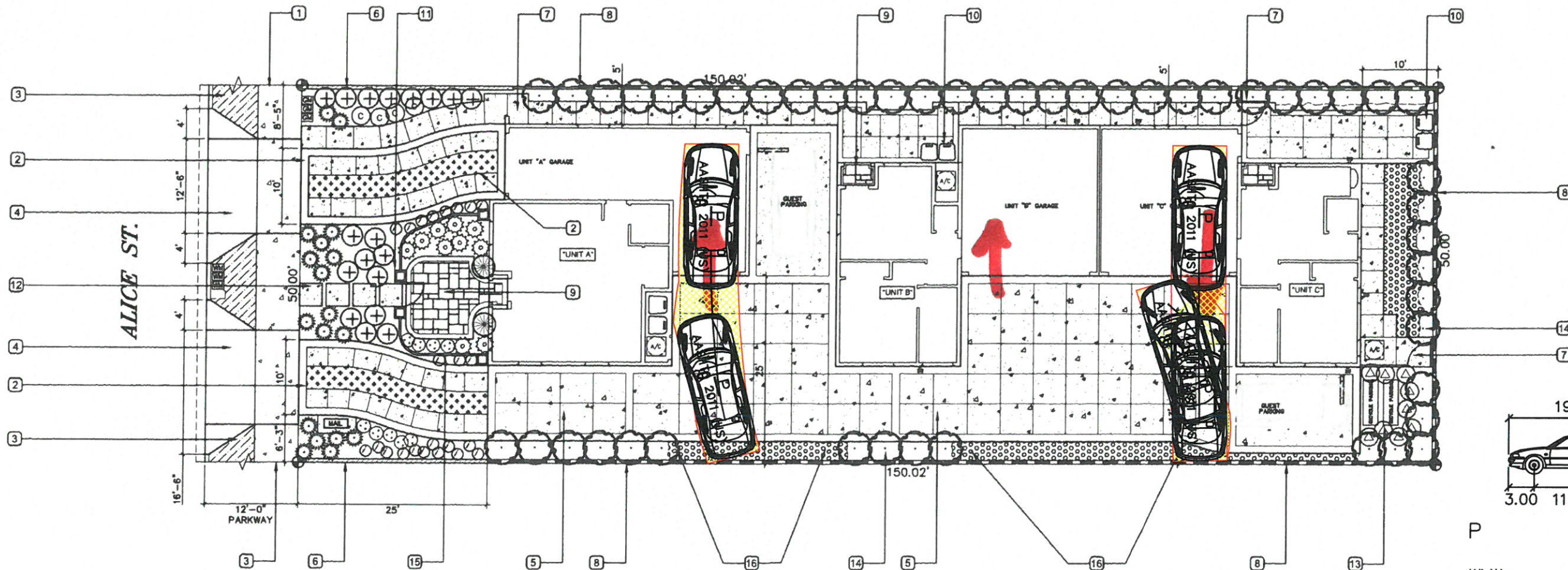
-  5 GAL. SALVIA L. 'SANTA BARBARA' MEXICAN SAGE BUSH (L) ● 24" O.C.
-  5 GAL. CALLISTEMON 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH (L) ● 24" O.C.
-  5 GAL. JUNCUS PATENS CALIFORNIA GREY RUSH (L) ● 24" O.C.
-  5 GAL. DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY (L) ● 24" O.C.
-  5 GAL. ROSA 'MEDILAND PINK' PINK MEDILAND SHRUB ROSE (M) ● 24" O.C.
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SHRUBS

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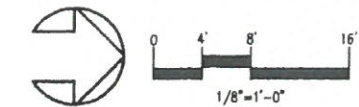
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P

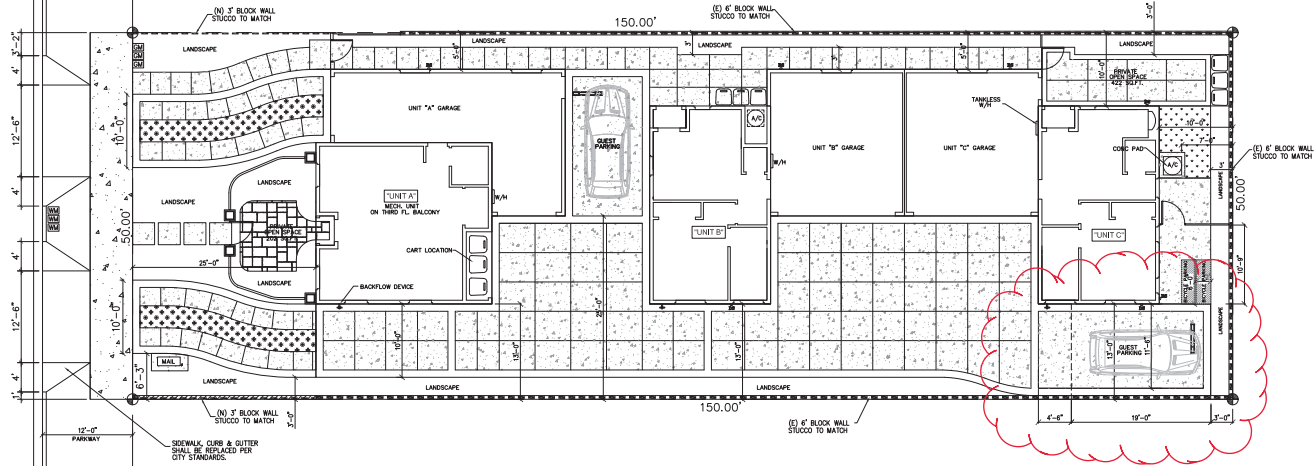
	feet
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6



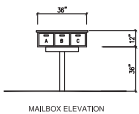
Attachment No. 4

Revised Site Plan & Response from
Applicant, dated February 2, 2021

ALICE ST.



PROPOSED SITE PLAN
1/8" = 1'-0"



REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 80007 Arcadia, CA 91708
TEL: 626-444-8888

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

TITLE & SITE PLAN

02/03/2021

SHEET
T1.1

Addressing Arcadia Planning Commission's Concerns

Date: February 2, 2021

Project: 147 Alice St. – A Proposed New Three-unit Condominium Project

To the Arcadia Planning Commission,

Thank you for your time in considering the project at 147 Alice Street. At the January 26, 2021 Planning Commission meeting, a concern was raised regarding the on-site maneuverability from certain parking stalls, with the last side-facing garage space being of most concern. It was questioned whether a vehicle parked in subject spot would be able to back out and exit with the provided 25' back out space. Commissioner Thompson suggested that the project be redesigned to two units to avoid this situation. As the public hearing is currently closed, I've prepared a list to address the statements:

- 1. The plans have been modified to provide a 4'-6" deep by 13'-0" wide space behind the open guest parking space to increase maneuverability from the garage spaces of the back unit.** Commissioner Thompson expressed concern about the adequacy of the back out space for Unit C's last garage space, especially when the back guest parking space is in use. To mitigate this concern, the guest parking space has been moved forward to provide a 4'-6" deep by 13'-0" wide area to increase maneuverability. A vehicle may now utilize that space behind the guest parking even when a vehicle is parked in the designated guest parking space. The actual clearance will likely be more than that considering the average car length is around 16'-0", and the provided parking space depth is 19'-0", plus a 3'-0" landscape buffer in front of the space.
- 2. The 25' clear back out space has been the gold standard for years in the area.** It is consistent with the current requirements of all neighboring cities, with the exception of Temple City, which has a sliding scale based on the width of the garage opening. The City of Pasadena only requires a 24' clear back out area in their high density multiple family zone. Also, Arcadia's Code allows for encroachments into the direct back out area with an alternative design, which is a 25' turning radius. This project provides a 25' direct clear path and complies with the standards.
- 3. This is an established layout in the area.** During early 2000's, the Planning Commission had granted multiple set back modifications to allow the garages of multiple-family projects to encroach 5'-0" into the required 10'-0" setback. This modification was granted with such frequency that the Code was subsequently revised to allow a setback encroachment specifically to allow garages to face the sides on a narrow lot. Almost all projects in this area for the past 20 years have been developed with a similar layout. This has not just set a precedence, but has become the standard, established design layout. To my knowledge, with dozens of these projects in use over the last 20 years, the City has received zero complaints, and zero incidents/accidents. With a perfect track record, it

has been the City's experience that this layout works, and no real-world evidence to suggest otherwise. If there has ever been a reported issue, the City would have reacted and reevaluated this Code standard.

4. **The City would not meet Regional Housing Needs Allocation (RHNA) numbers if limited to two units.** The standard lot width of the R-3 lots within this area is 50'-0". This area includes all residential properties south of Huntington Drive, north of Duarte Road, east of Santa Anita Avenue, and west of Second Avenue. Requesting the applicant to reduce the number of units from a minimum required three units to two units is effectively down-zoning the property to R-2, and would also result in a net loss of one unit (there are currently three units on the subject property). Effectively, the Commission would be down-zoning the entire R-3 area if this layout is not allowed, and only two units is permitted. When this area is down-zoned, the City would be further from meeting its RHNA numbers. Also, the City had imposed a minimum density in the R-3 zone to combat the development trend to build below the R-3 density in favor of larger, more expensive homes, which is against the principles of a high density multiple family residential zone. Restricting the subject property to build below the minimum density is a step back in implementing the Code and meeting RHNA numbers.
5. **Building below the required density is not permitted by right.** Although the January 26, 2021 staff report stated that a lot may be developed with less than the required density if a lot is 50 feet wide or less, it should be noted that it is not a Code provision by right. Building below the density will require the approval of a modification application, which requires specific findings to gain approval. In this case, there is no unique circumstance to justify a modification to allow a reduced density development. Almost every lot has the same lot width in this area.

In conclusion, it is the City's duty to uphold the City's own Codes and regulations, including density and parking requirements. This project fully complies with all applicable City Codes and is consistent with the parking layout of existing developments, and now we are asked to deviate from the Code to build below density due to a perceived issue that has not been realized through years of real world experience. In the meantime, the City has been trying to provide additional housing units to satisfy RHNA numbers while asking this project to result in a net loss of one unit. Therefore, I respectfully request that the Arcadia Planning Commission uphold the City's Codes and regulations, and approve the subject applications based on the findings as listed in the staff report. Thank you.

Sincerely,

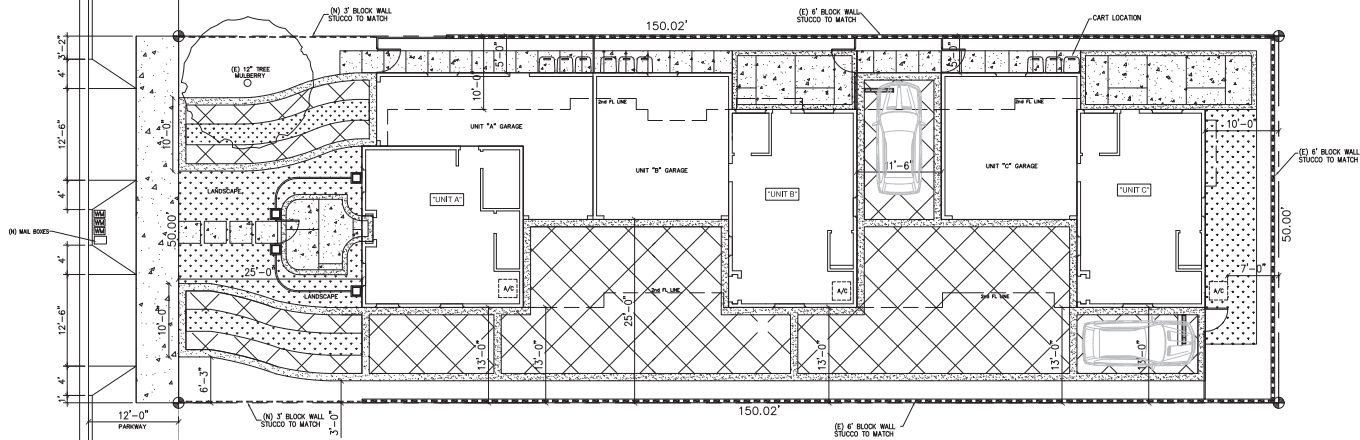


Tom Li
Prestige Design, Planning, and Development, Inc.

Attachment No. 5

Site Plan at 155-159 Alice Street

ALICE ST.



PROPOSED SITE PLAN
1/8" = 1'-0"

SITE NOTES:

1. TRASH CONTAINER CARTS TO BE STORED ON SIDE YARD AREA, OUT OF STREET VIEW.
2. GATES SHALL HAVE SCREENING MATERIAL.

REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 80007 Arcadia, CA 91008
Tel: 626-444-2222



3-UNIT CONDOMINIUM
155, 157 & 159 ALICE STREET
ARCADIA, CA. 91006

TITLE & SITE PLAN

12/27/2017

SHEET
T2.0

PC APPROVED 2-27-18



Attachment No. 6

Videos of the mid-size vehicle and its maneuverability on February 2, 2021

Click on this link to view the videos:

<https://drive.google.com/drive/folders/1aa23q-DpEGyQO7apVBtnAvr3LOIXNzu1?usp=sharing>

Attachment No. 7

Planning Commission Staff Report with all the attachments, dated January 26, 2021



STAFF REPORT

Development Services Department

DATE: January 26, 2021

TO: Honorable Chairman and Planning Commission

FROM: Lisa L. Flores, Planning & Community Development Administrator
By: Luis Torrico, Senior Planner

SUBJECT: APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 19-04 AND TENTATIVE PARCEL MAP NO. TPM 20-03 (83113), WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) FOR A THREE-UNIT, MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT AT 147 ALICE STREET
Recommendation: Adopt Resolution No. 2071

SUMMARY

The Applicant, Tom Li of Prestige Design, Planning & Development, on behalf of the property owner, Soliel Homes Inc, is requesting approval of Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), for a new three (3) unit, three-story, multi-family residential condominium development at 147 Alice Street. The proposed development and subdivision are consistent with the City's General Plan, Development Code, and Subdivision Code. As an infill development project, the proposed development qualifies for a Categorical Exemption under the California Environmental Quality Act ("CEQA"). It is recommended that the Planning Commission approve MFADR 19-04 and TPM 20-03 (83113) subject to the conditions listed in this staff report, and adopt Resolution No. 2071 – refer to Attachment No. 1.

BACKGROUND

The subject property is a 7,500 square foot interior lot, located on the north side of Alice Street, between 1st and 2nd Avenues. The property is zoned R-3, High Density Multiple Family Residential with a General Plan Land Use Designation of High Density Residential. The property is surrounded by other R-3 zoned properties to the north, south, east, and to the west. The project site is improved with three units - one single-family dwelling and one

duplex, and one carport with three parking spaces that were built in 1950 – refer to Attachment No. 2 for an Aerial photo with Zoning Information and Photos of the Subject Property.

A Certificate of Demolition (COD) for the subject property was approved on March 2, 2020, however the structures have not yet been demolished due to the City’s replacement policy for residential projects that the owners cannot demolish the structures until a project has been approved. Based on the evaluation by an Architectural Historian, the property does not meet any of the minimum requirements for designation as a historical resource under federal, state and local criteria. The residence is not a good example of a particular architectural style and is not representative of or associated with any important historical events or people.

PROPOSAL

The applicant is requesting to demolish all the existing structures on the property to construct a new three unit, three-story, multi-family residential condominium development with surface parking – refer to Attachment No. 3 for the Tentative Parcel Map and Attachment No. 4 for the proposed Architectural Plans. The project will be of Spanish architectural style, which will be compatible with the existing multi-family developments in the neighborhood, which include a variety of architectural styles including two Spanish style developments adjacent to the subject site. The front unit will consist of three (3) bedrooms and the rear two units will consist of four (4) bedrooms. Each unit will vary between 1,659 to 2,177 square feet in floor area. The front unit will have direct access from Alice Street and the remaining two (2) units will have a pedestrian walkway along the north side of the property (see Figure 1).

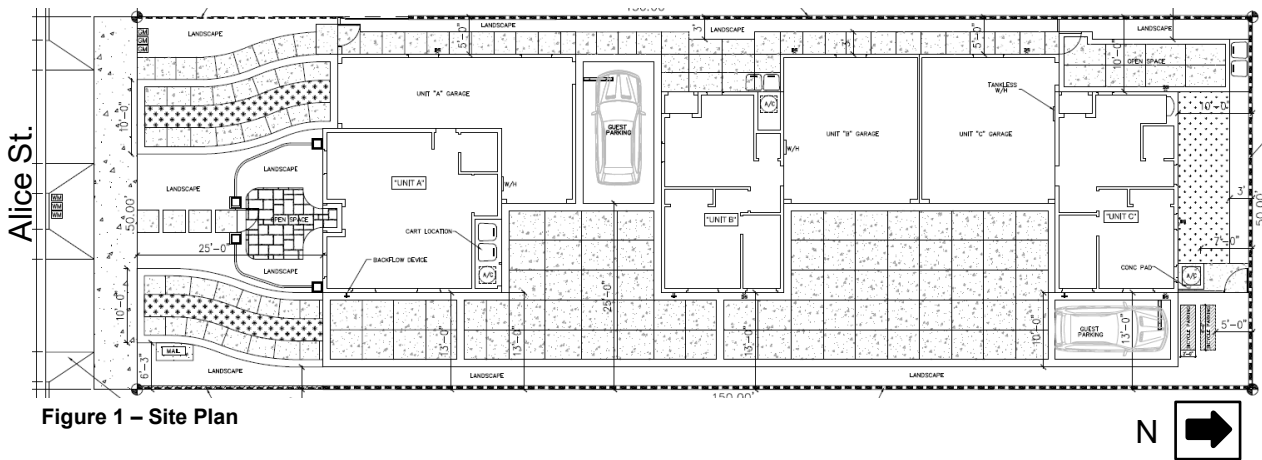


Figure 1 – Site Plan

The proposed development will have an overall ridge height of 32’-7”, whereas a maximum of 30’-0” is allowed, unless it is a pitched roof then the structure can extend up to three (3) feet above the maximum height limit. Therefore, the proposed development will comply with the height requirement. The building provides the minimum front yard setback of 25’-0” as well as all the other minimum setbacks required in the R-3 zone, for lots that are 65’ in width of less. Each unit requires a minimum of 100 square feet of open space, which will be provided through rooftop patios located on the third floor, for units A & B, and an at-grade patio for unit C.

The front unit will have two oversized one-car garages with separate access. One garage is approximately 9'-6" x 21'-6", and the second one is approximately 9'-6" x 19'-0". Given the property's narrow lot width of 50 feet, the rear units will each have a two-car garage at the minimum dimensions of 18'-0" x 19'-0". Two (2) open guest spaces will be provided to comply with Code. The garages for all the units and guest spaces will be accessed from Alice Street. Additionally, there will be two (2) bicycle parking spaces provided toward the rear of the property. Based on the number of parking spaces provided, the project meets the required parking per the Development Code.

ANALYSIS

The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. If a lot has a lot width that is 50 feet or less such as this one, it may be developed with less than the required minimum density, but not less than two (2) dwelling units. The Code requires two (2) covered spaces per unit and one (1) guest space for every two (2) units. Parking for the project will be provided through at-grade garages for each unit, and two (2) open guest spaces. The project will also provide two (2) bicycle racks located at the rear of the property. Therefore, the proposed development will comply with the parking requirements of the R-3 Zone. Lastly, the project will comply with the adjacent development standards of the R-3 Zone, including, but not limited to setbacks, height and open space.

The proposed development will be the first three-story development on this street. As previously mentioned, the code allows a maximum height of 30'-0", unless it's a pitched roof then the structure can extend up to three (3) feet above the maximum height limit. The project will have an overall building height of 32'-7". However, it will not be out of character with the new development since a two-story condominium at 141-145 Alice Street, west and next door to the subject site, was approved at 29'-0" in height. To mitigate the overall bulk and mass and to ensure the new development will blend with other development within this neighborhood, the third floor was stepped back approximately 16 feet from the first and second levels (see Figure 3). Therefore, while this will be the first three-story development on the street, it will be compatible with the other multi-family developments in the area since the front unit will only be two-story tall.

Concurrent with the subdivision application, the Planning Commission must approve, conditionally approve, or deny the architectural design of the proposed project. The project is designed in a Spanish architectural style (refer to Attachment No. 4) with a stucco exterior finish. The roof consists of concrete "S" tile roofing material and moldings along the eaves (see Figures 2 & 3). Additional architectural features will include, but not limited to, decorative window trim, wrought iron railings/features, fabric window awnings, and various building projections, which provide roof breaks with multiple rooflines. The proposed Spanish style development will be compatible with other contemporary style existing multi-family developments along Alice Street, including recently completed multi-family developments on adjoining lots, as the massing and scale of this project is consistent with others found in the surrounding neighborhood. The project will also provide landscaping throughout the property, with an emphasis along the front yard and the side

yards to offer additional screening and privacy for the adjacent multi-family residences on both sides.



Figure 2. Proposed front elevation



Figure 3. Proposed side elevations

FINDINGS

Tentative Parcel Map

The proposal to subdivide the airspace for three (3) residential condominium units requires a subdivision through the Tentative Parcel Map process – see Attachment No. 3 for

Tentative Parcel Map No. TPM 20-03 (83113). The proposed subdivision complies with the subdivision regulations of the Arcadia Municipal Code and the Subdivision Map Act, and will not violate any requirements of the California Regional Water Quality Control Board. The following findings are required for approval of a Tentative Parcel Map:

A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions Division of the Development Code.

Facts in Support of the Finding: The proposed tentative parcel map for a three-unit multi-family residential condominium development and subdivision of the airspace has been reviewed for compliance with the City's General Plan, Development Code, and the State Subdivision Map Act. It has been determined that the proposed subdivision is consistent with the General Plan High Density Residential Land Use designation and the R-3, High Density Multiple Family Residential zoning designation. These designations are intended to accommodate high density, attached or detached residential units such as condominiums, within the appropriate neighborhoods. The proposed tentative parcel map complies with the Subdivision Map Act regulations and there is no specific plan applicable to this project. The project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development.

Facts in Support of the Finding: The project site is physically suitable for the proposed multi-family residential development. The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. Therefore, the proposed three-unit development complies with the density requirements of the underlying zone as well as all other applicable zoning requirements including but not limited to parking, setbacks, height, and open space.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Facts in Support of the Finding: The proposed tentative parcel map for three (3) multi-family residential condominium units is a subdivision of an infill site within an urbanized area and does not serve as a habitat for endangered or rare species. The project will not cause substantial environmental damage or impact wildlife.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems.

Facts in Support of the Finding: The proposed subdivision will construct three (3) multi-family residential units in compliance with all applicable Building and Fire Codes to ensure public health and safety. The project will maintain a density that is allowed in the R-3 zone and the proposed development will not cause any public health or safety problems.

E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of record or to easements established by judgement of a court of competent jurisdiction and no authority is hereby granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision).

Facts in Support of the Finding: The proposed design of the subdivision does not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision. There are no known easements on the subject property.

F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board.

Facts in Support of the Finding: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

G. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities.

Facts in Support of the Finding: The proposed tentative parcel map and three-unit multi-family condominium development have been reviewed by Building Services to ensure compliance with the California Building Code, which includes requirements associated with heating and cooling requirements.

H. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulations of the City's Development Code and the regulations of any public agency having jurisdiction by law.

Facts in Support of the Finding: The proposed subdivision as conditioned, complies with the density requirements of the City's Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City's Development Code.

Architectural Design Review

The proposed development is located in the R-3 zone (High Density Multiple Family Residential), which is intended to provide high density residential development. The proposed design of the three-unit condominium project is compatible with existing multi-family developments in the surrounding neighborhood in terms of massing and scale. While this development will be the first three-story development on this street, stepping the third floor from the street level by an additional 16 feet will help reduce the overall bulk and mass of the building, and the change in height will help transition with the other existing multi-family developments. The proposed development will also be similar in height to the 29-foot tall multi-family condominium development approved west and next door to the subject site. The proposed Spanish style architecture will be consistent with other Spanish influenced styles of architecture that exist along Alice Street, including the two recently completed adjacent multi-family developments. In addition, the proposed design is consistent with the City's Multifamily Residential Design Guidelines.

All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Planning & Community Development Administrator, Fire Marshal, and Public Works Services Director, or their respective designees.

ENVIRONMENTAL ASSESSMENT

It has been determined that the project site is less than five (5) acres; the project site has no value as a habitat for endangered, rare or threatened species; the proposed project will not have any significant effects upon the environment, and the site can be adequately served by all the required utilities and public services. Therefore, the project is exempt under Class 32 (In-Fill Development Projects) pursuant to Section 15332 of the State California Environmental Quality Act (CEQA) Guidelines. Refer to Attachment No. 5 for the Preliminary Exemption Assessment.

PUBLIC NOTICE/COMMENTS

Public hearing notices for this item were mailed to the owners of those properties that are located within 300 feet of the subject property and published in the Arcadia Weekly on

January 14, 2021. As of January 22, 2021, staff has not received any comments from the public.

On January 11, 2021, the Applicant sent each tenant a notice informing them of the proposed project. The notice was sent through Certified Mail.

RECOMMENDATION

It is recommended that the Planning Commission approve Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), subject to the following conditions, find that the project is Categorically Exempt from the California Environmental Quality Act (CEQA), and adopt Resolution No. 2071, subject to the following conditions of approval:

1. All the windows shall be recessed a minimum of two (2) inches from the building walls. A construction detail indicating the 2-inch recess shall be included on the plans submitted to the Building Division for plan check.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The project shall be developed and maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for MFADR 19-04 and TPM 20-03 (83113) subject to the approval of the Planning & Community Development Administrator, or designee.
4. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Electrical Code
 - c. California Mechanical Code
 - d. California Plumbing Code
 - e. California Energy Code
 - f. California Fire Code
 - g. California Green Building Standards Code
 - h. California Existing Building Code
5. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
6. Grading plans shall be submitted to, and approved by the Building Services Division. The grading plans shall indicate all on- and off-site improvements, and shall indicate complete drainage paths of all drainage water run-off.

7. A building permit shall be obtained prior to the removal and/or demolition of structures.
8. Prior to approval of the Final Parcel Map, the Applicant/Property Owner shall:
 - a) Remove and replace existing curb and gutter from property line to property line.
 - b) Construct sidewalk from property line to property line.
 - c) Install new driveway approaches (minimum 12' wide) per City's Standard Plan. Install transitions to the driveways just inside the property lines to transition from the 12.5' to the 10' wide driveway approaches.
 - d) Repair asphalt street damages caused by the development, as necessary.
9. The Applicant/Property Owner shall coordinate with Public Works Services Department for the installation of new street trees per the City's Street Tree Master Plan.
10. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department's Multi-Family Dwelling Sprinkler Standard.
11. There is a 6-inch cast iron water main with 72 psi static pressure that the development shall connect to on Alice Street for domestic water and/or fire services. The Applicant/Property Owner shall provide calculations to the Public Works Services Department to determine the total combined maximum domestic and fire demand, and verify the water service size required.
12. The Applicant/Property Owner shall install separate water meter for each condominium unit. The water meter for each unit can be used to supply both domestic water services and fire services. The Applicant/Property Owner shall separate the fire service from domestic water service with an approved back flow device.
13. All condominiums shall require a separate water service and meter for common area landscape irrigation.
14. A Water Meter Permit Application shall be submitted to the Public Works Services Department prior to issuance of a building permit for the new development.
15. New water service installations shall be by the Applicant/Property Owner. Installation shall be according to the specifications of the Public Works Services Department, Engineering Section. Abandonment of existing water services, if necessary, shall be carried out by the Applicant/Property, according to Public Works Services Department.
16. An 8" Vitrified Clay Pipe (VCP) City sewer line is available on Alice Street to provide sanitary sewer service for the project. The Applicant/Property Owner shall utilize existing sewer lateral if possible.

17. If any drainage fixture elevation is lower than the elevation of the next upstream manhole cover (444.97'), an approved type of backwater valve is required to be installed on the lateral within the City's right-of-way.
18. The proposed project shall be subject to low impact development (LID) requirements. These requirements include but are not limited to using infiltration trenches, bio-retention planter boxes, roof drains connected to a landscaped area, pervious concrete/paver, etc.
19. The Applicant/Property Owner shall provide, and accommodate for, a total of three trash containers for trash, recycling and green waste for each unit, to the satisfaction of the Public Works Services Director, or designee.
20. The Applicant/Property Owner shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
21. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.
22. Approval of MFADR 19-04 and TPM 20-03 (83113) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The executed Acceptance Form submitted to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

PLANNING COMMISSION ACTION

Approval

If the Planning Commission intends to approve this project, the Commission should move to approve Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), state that the proposal satisfies the requisite findings, and adopt the attached Resolution No. 2071 that incorporates the requisite environmental and subdivision findings, and the conditions of approval as presented in this staff report, or as modified by the Commission.

Denial

If the Planning Commission is to deny this project, the Commission should state the specific findings that the proposal does not satisfy based on the evidence presented with specific reasons for denial, and move to deny Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113) and direct staff to prepare a resolution for adoption at the next meeting that incorporates the Commission's decision and specific findings.

If any Planning Commissioner, or other interested party has any questions or comments regarding this matter prior to the January 26, 2021, Planning Commission Meeting, please contact Senior Planner, Luis Torrico at (626) 574-5442, or ltorrico@ArcadiaCA.gov.

Approved:



Lisa L. Flores
Planning & Community Development Administrator

- Attachment No. 1: Resolution No. 2071
- Attachment No. 2: Aerial Photo with Zoning Information and Photos of the Subject Property and Vicinity
- Attachment No. 3: Tentative Parcel Map No. TPM 20-03 (83113)
- Attachment No. 4: Architectural Plans
- Attachment No. 5: Preliminary Exemption Assessment

Attachment No. 1

Resolution No. 2071

RESOLUTION NO. 2071

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, APPROVING MULTIPLE FAMILY ARCHITECTURAL DESIGN REVIEW NO. MFADR 19-04 AND TENTATIVE PARCEL MAP NO. TPM 20-03 WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT ("CEQA") FOR A THREE-UNIT MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT LOCATED AT 147 ALICE STREET

WHEREAS, on October 19, 2019, Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 applications, collectively referred to as the "Project," were filed by Tom Li of Prestige Design, Planning & Development, on behalf of the property owner, Soliel Homes Inc, for a three-unit multi-family residential condominium development which requires subdivision of the airspace located at 147 Alice Street; and

WHEREAS, on December 28, 2020, Planning Services completed an environmental assessment for the Project in accordance with the California Environmental Quality Act ("CEQA") and recommended that the Planning Commission determine the Project is exempt under Section 15332 of the CEQA Guidelines (Review for Exemption) because the Project is considered an infill-development project; and

WHEREAS, on January 26, 2021, a duly noticed public hearing was held before the Planning Commission on said application, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Community Development Division in the staff report dated January 26, 2021 are true and correct.

SECTION 2. This Commission finds, based upon the entire record:

A. The proposed map, subdivision design, and improvements are consistent with the General Plan, any applicable specific plan, and the Subdivisions Division of the Development Code:

FACT: The Project has been reviewed for compliance with the City's General Plan, Development Code, and the State Subdivision Map Act. It has been determined that the Project is consistent with the General Plan High Density Residential Land Use designation and the R-3, High Density Multiple Family Residential zoning designation. These designations are intended to accommodate high density, attached or detached residential units such as condominiums, within the appropriate neighborhoods. The proposed tentative parcel map complies with the Subdivision Map Act regulations and there is no specific plan applicable to this Project. The Project will not adversely affect the comprehensive General Plan and is consistent with the following General Plan goals and policies:

Land Use and Community Design Element

- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-4.1: Require that new multi-family residential development be visually and functionally integrated and consistent in scale, mass, and character with structures in the surrounding neighborhood.

B. The site is physically suitable for the type and proposed density of development:

FACT: The project site is physically suitable for the proposed multi-family residential development. The R-3 zone requires a minimum density of one dwelling unit per 2,200 square feet of lot area, and a maximum density of one unit per 1,450 square feet of lot area. This calculates to a minimum density of three (3) units and a maximum of five (5) units. Therefore, the Project complies with the density requirements of the underlying zone as well as all other applicable zoning requirements including but not limited to parking, setbacks, height, and open space.

C. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat:

FACT: The Project is a subdivision of an infill site within an urbanized area and does not serve as a habitat for endangered or rare species. The Project will not cause substantial environmental damage or impact wildlife.

D. The design of the subdivision or type of improvements is not likely to cause serious public health or safety problems:

FACT: The proposed subdivision will include three (3) multi-family residential units in compliance with all applicable Building and Fire Codes to ensure public health and safety. The Project will maintain a density that is allowed in the R-3 zone and the proposed development will not cause any public health or safety problems.

E. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision (This finding shall apply only to easements of record or to easements established by judgement of a court of competent jurisdiction and no authority is hereby

granted to a legislative body to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision):

FACT: The proposed design of the subdivision does not conflict with easements acquired by the public at large for access through or use of, property within the proposed subdivision. There are no known easements on the subject property.

F. The discharge of sewage from the proposed subdivision into the community sewer system will not result in violation of existing requirements specified by the California Regional Water Quality Control Board:

FACT: The Arcadia Public Works Services Department determined that the City's existing infrastructure will adequately serve the new development, and the requirements of the California Regional Water Quality Control Board will be satisfied.

G. The design of the subdivision provides, to the extent feasible, passive or natural heating and cooling opportunities:

FACT: The Project has been reviewed by Building Services to ensure compliance with the California Building Code, which includes requirements associated with heating and cooling requirements.

H. The proposed subdivision, its design, density, and type of development and improvements conforms to the regulation of the Development Code and the regulations of any public agency having jurisdiction by law:

FACT: The proposed subdivision as conditioned, complies with the density requirements of the City's Development Code, and all the improvements required for the site and each unit will comply with the regulations in the City's Development Code.

I. The proposal is consistent with the City's Multifamily Residential Design Guidelines:

FACT: The Project is located in the R-3 zone (High Density Multiple Family Residential), which is intended to provide high density residential development. The proposed design of the three-unit condominium project is compatible with existing multi-family developments in the surrounding neighborhood in terms of massing and scale. While the Project will be the first three-story development on this street, stepping the third floor from the street level by an additional 16 feet will help reduce the overall bulk and mass of the building, and the change in height will help transition with the other existing multi-family developments. The Project will also be similar in height to the 29-foot tall multi-family condominium development approved west and next door to the subject site. The proposed Spanish style architecture will be consistent with other Spanish influenced styles of architecture that exist along Alice Street, including the two recently completed adjacent multi-family developments. In addition, the proposed design is consistent with the City's Multifamily Residential Design Guidelines.

SECTION 3. Pursuant to the provisions of the California Environmental Quality Act ("CEQA"), this Project is a Class 32 Categorical Exemption as an infill-development project per Section 15332 of the CEQA Guidelines.

SECTION 4. For the foregoing reasons the Planning Commission determines that the Project is Categorically Exempt under the California Environmental Quality Act ("CEQA") Section 15332, Class 32, and approves Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113) for a three-

unit multi-family residential condominium development at 147 Alice Street, subject to the conditions of approval attached hereto.

SECTION 5. The Secretary shall certify to the adoption of this Resolution.

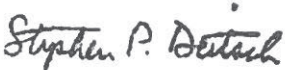
Passed, approved and adopted this 26th day of January, 2021.

Marilynne Wilander
Chair, Planning Commission

ATTEST:

Lisa L. Flores
Secretary

APPROVED AS TO FORM:



Stephen P. Deitsch
City Attorney

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RESOLUTION NO. 2071

Conditions of Approval

1. All the windows shall be recessed a minimum of two (2) inches from the building wall. A construction detail indicating the 2-inch recess shall be included on the plans submitted to the Building Division for plan check.
2. Any required mechanical equipment, such as backflow devices, visible from the public right-of-way shall be screened from public view. Screening may include landscaping, solid walls or other methods deemed appropriate for the development. The placement and height of said screening shall subject to review and approval by the Planning & Community Development Administrator, or designee.
3. The project shall be developed and maintained by the Applicant/Property Owner in a manner that is consistent with the plans submitted and conditionally approved for MFADR 19-04 and TPM 20-03 (83113) subject to the approval of the Planning & Community Development Administrator, or designee.
4. The project shall comply with the latest adopted edition of the following codes as applicable:
 - a. California Building Code
 - b. California Electrical Code
 - c. California Mechanical Code
 - d. California Plumbing Code
 - e. California Energy Code
 - f. California Fire Code
 - g. California Green Building Standards Code
 - h. California Existing Building Code
5. All utility conductors, cables, conduits and wiring supplying electrical, cable and telephone service to a multiple family building shall be installed underground except risers which are adjacent to and attached to a building.
6. Grading plans shall be submitted to, and approved by the Building Services Division. The grading plans shall indicate all on- and off-site improvements, and shall indicate complete drainage paths of all drainage water run-off.
7. A building permit shall be obtained prior to the removal and/or demolition of the structures.
8. Prior to approval of the Final Parcel Map, the Applicant/Property Owner shall:

- a. Remove and replace existing curb and gutter from property line to property line.
 - b. Construct sidewalk from property line to property line.
 - c. Install new driveway approaches (minimum 12' wide) per City's Standard Plan. Install transitions to the driveways just inside the property lines to transition from the 12.5' to the 10' wide driveway approaches.
 - d. Repair asphalt street damages caused by the development, as necessary.
9. The Applicant/Property Owner shall install, after coordinating with Public Works Services Department new street trees per the City's Street Tree Master Plan.
 10. All structures shall be provided with an automatic fire sprinkler system per the City of Arcadia Fire Department's Multi-Family Dwelling Sprinkler Standard.
 11. There is a 6" cast iron water main with 72 psi static pressure that the development shall connect to on Alice Street for domestic water and/or fire services. The Applicant/Property Owner shall provide calculations to the Public Works Services Department to determine the total combined maximum domestic and fire demand, and verify the water service size required.
 12. The Applicant/Property Owner shall install separate water meters for each condominium unit. The water meter for each unit can be used to supply both domestic water services and fire services. The Applicant/Property Owner shall separate the fire service from domestic water service with an approved back flow device.
 13. All condominiums shall require a separate water service and meter for common area landscape irrigation.
 14. A Water Meter Permit Application shall be submitted to the Public Works Services Department prior to issuance of a building permit for the new development.
 15. New water service installations shall be by the Applicant/Property Owner. Installation shall be according to the specifications of the Public Works Services Department, Engineering Section. Abandonment of existing water services, if necessary, shall be carried out by the Applicant/Property Owner, according to Public Works Services Department, Engineering Division specifications.
 16. An 8" vitrified clay pipe (VCP) City sewer line is available on Alice Street to provide sanitary sewer service for the project. The Applicant/Property Owner shall utilize existing sewer lateral if possible
 17. If any drainage fixture elevation is lower than the elevation of the next upstream manhole cover (444.97'), an approved type of backwater valve is required to be installed on the lateral in the right of way.

18. The proposed project shall be subject to low impact development (LID) requirements. These requirements include but are not limited to using infiltration trenches, bio-retention planter boxes, roof drains connected to a landscaped area, pervious concrete/paver, etc.
19. The Applicant/Property Owner shall provide, and accommodate for, a total of three trash containers for trash, recycling and green waste for each unit, to the satisfaction of the Public Works Services Director, or designee.
20. The Applicant/Property Owner shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Planning & Community Development Administrator. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
21. The Applicant/Property Owner shall defend, indemnify, and hold harmless the City of Arcadia and its officials, officers, employees, and agents from and against any claim, action, or proceeding against the City of Arcadia, its officials, officers, employees or agents to attack, set aside, void, or annul any approval or conditional approval of the City of Arcadia concerning this project and/or land use decision, including but not limited to any approval or conditional approval of the City Council, Planning Commission, or City Staff, which action is brought within the time period provided for in Government Code Section 66499.37 or other provision of law applicable to this project or decision. The City shall promptly notify the applicant of any claim, action, or proceeding concerning the project and/or land use decision and the City shall cooperate fully in the defense of the matter. The City reserves the right, at its own option, to choose its own attorney to represent the City, its officials, officers, employees, and agents in the defense of the matter.
22. Approval of MFADR 19-04 and TPM 20-03 (83113) shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The executed Acceptance Form submitted to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

Attachment No. 2

Aerial Photo with Zoning Information and
Photos of the Subject Site

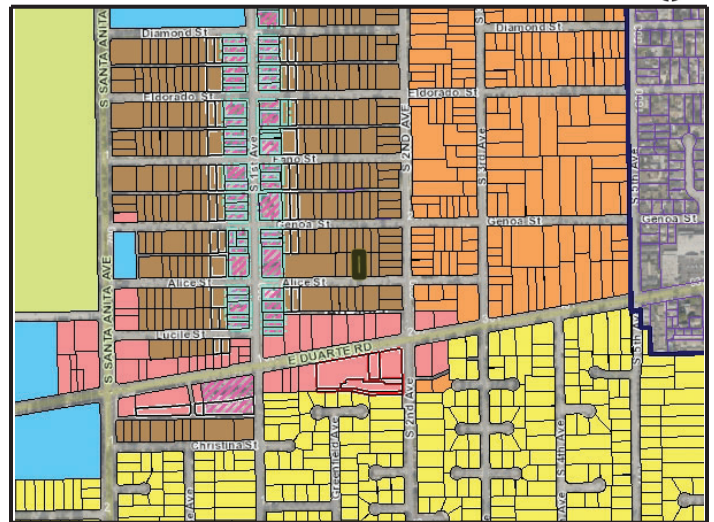
Site Address: **147 ALICE ST**

Property Owner(s): **LIU, DIAN WEN AND QIU, MAGGIE Y**



Property Characteristics	
Zoning:	R-3
General Plan:	HDR
Lot Area (sq ft):	
Main Structure / Unit (sq. ft.):	1,797
Year Built:	1947
Number of Units:	3
Overlays	
Architectural Design Overlay:	N/A
Downtown Overlay:	N/A
Downtown Parking Overlay:	N/A
Parking Overlay:	N/A
Racetrack Event Overlay:	N/A
Residential Flex Overlay:	N/A
Special Height Overlay:	N/A

Selected parcel highlighted



Parcel location within City of Arcadia



Subject site



155 Alice Street – East neighbor next door

January 26, 2021 Staff Report with all Attachments



141 – 145 Alice Street – West neighbor next door



Existing multi-family developments across the street from the subject site



Existing multi-family developments across the street from the subject site

Attachment No. 3

Tentative Parcel Map
No. TPM 20-03 (83113)

Attachment No. 4

Architectural Plans

NEW 3-UNIT CONDOMINIUM

147 ALICE STREET
ARCADIA, CA. 91006

REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 9009 Arcadia, CA 91006
TEL: 626-444-2222



3-UNIT CONDOMINIUM
155, 157 & 159 ALICE STREET
ARCADIA, CA. 91006

TITLE & PROJECT INFORMATION

12/10/2020

SHEET
T1.0

PROJECT INFORMATION

OWNER:
SOLEIL HOMES, INC.
C/O MAGGIE QIU
480 LAS TUNAS DRIVE
ARCADIA, CA 91007

OCCUPANCY GROUP: R3 and U

SPRINKLERED – PER CITY ORDINANCE
CODE 8130.14

APPLICABLE CODES / CODE COMPLIANCE
2019 CBC, CMC, CPC, CEC,
2019 TITLE – 24 ENERGY STANDARDS
2019 CALIFORNIA GREEN BUILDING CODE

APN # 5779-017-005
BUILDING TYPE: CONDOMINIUM
PROPERTY AREA (EXCLUDES CITY PARKWAY): 7,500 SQ FT.

PROPOSED 1ST FLOOR FOOTPRINT: 2,524 SQ FT.
NUMBER OF UNITS: 3
NUMBER OF FLOORS: 3

LANDSCAPE FRONT YARD CALCULATION
FRONT YARD AREA= 25' X 50' = 1,250 SQ FT.
MAX HARDSCAPE 40% OF FRONT YARD:
1,250 S.F. X 40% = 500 SQ.F.
PROPOSED HARDSCAPE: 500 SQ. F.

LOT COVERAGE CALCULATION
LOT SIZE = 7,500 SQ.F.
BUILDING COVERAGE= 2,524 SQ FT.
2,524 / 7,500 = 33.6%

PROJECT TABULATION

PROPOSED UNITS	A	B	C
FIRST FLOOR:	502 S.F.	439 S.F.	439 S.F.
SECOND FLOOR:	1,157 S.F.	901 S.F.	876 S.F.
THIRD FLOOR:		837 S.F.	775 S.F.
TOTAL S.F.:	1,659 S.F.	2,177 S.F.	2,090 S.F.
GARAGE:	439 S.F.	367 S.F.	367 S.F.
OPEN SPACE:	421 S.F.	250 S.F.	754 S.F.
BICYCLE PARKING:	2 PROVIDED		
GUEST PARKING:	2 PROVIDED		

CITY NOTES

FIELD VERIFICATION CONTROLLER:
1. VERIFY CONTROLLER INSTALLATION WHEN THE CONTROLLERS ARE INSTALLED BY THE CONTRACTOR AT THE TIME OF BUILDING FINAL.

WASTE NOTE:
1. MUST SAVE FOR RECYCLE OR RE-USE ATLEAST 50% OF THE NON HAZEROUS CONSTRUCTION AND DEMOLITION DEBRIS.

VERIFICATION NOTE:
1. FIELD VERIFICATION WILL BE PROVIDED BY A THIRD PARTY.

PLUMBING NOTE:
1. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS MENTIONED IN CGBC TABLE 4.304.1. CGBC 4303.3.

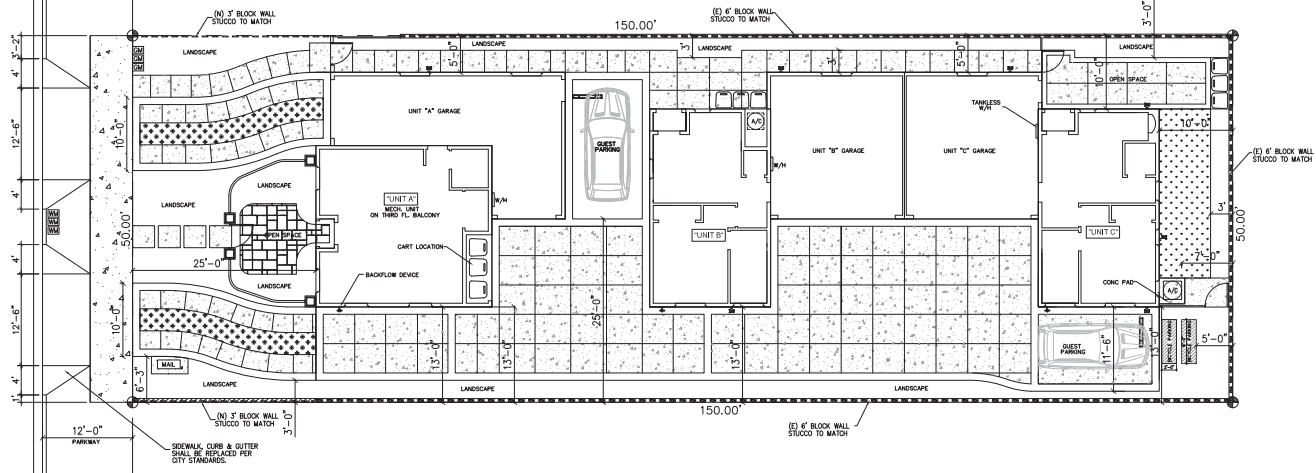
FIELD VERIFICATION:
1. DUCT SEALING, SUPPLY DUCT LOCATION, SURFACE AREA AND R-FACTOR.

SHEET INDEX

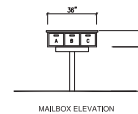
T1.0	COVER SHT, GENERAL NOTES
T1.1	SITE PLAN
A1.0	1ST FLOOR PLAN
A2.0	2ND FLOOR PLAN
A3.0	3RD FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATIONS, SECTION
A6.0	ELEVATIONS



ALICE ST.



PROPOSED SITE PLAN
1/8" = 1'-0"



REVISIONS	
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Prestige
Design, Planning, and Development, Inc.
P.O. Box 40097 Arcadia, CA 91006
Tel: 626-444-3333

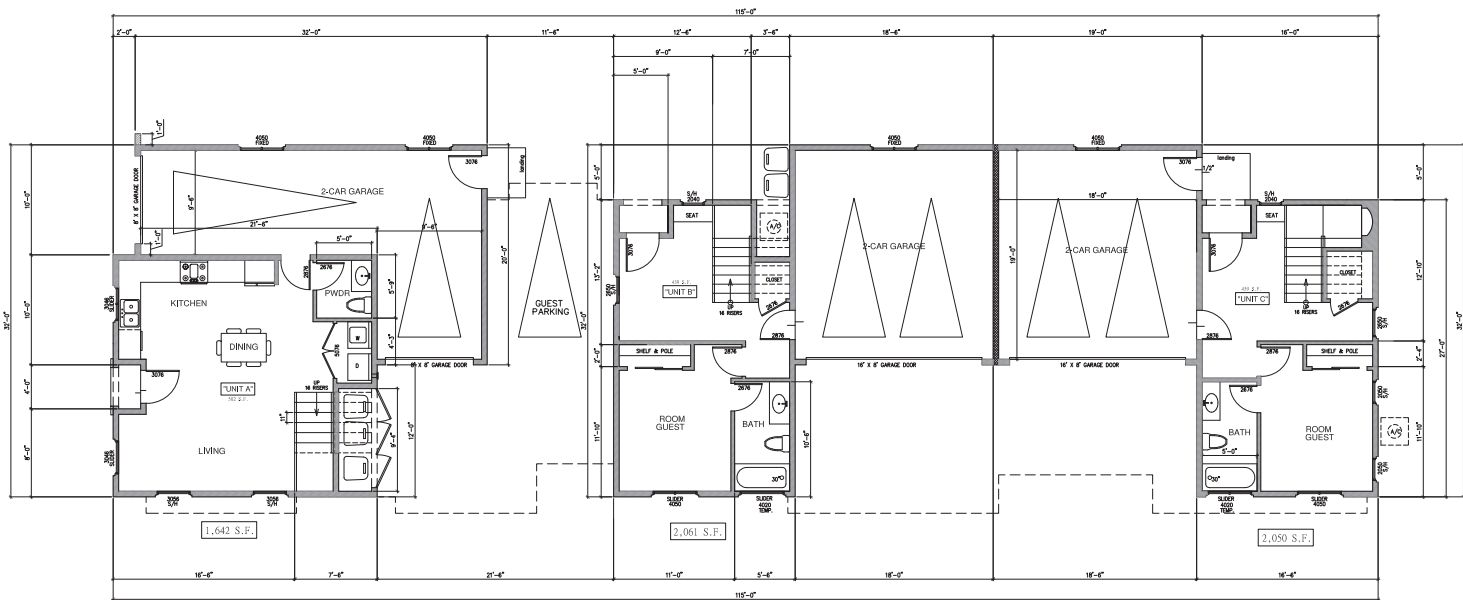


3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

TITLE & SITE PLAN

12/10/2020

SHEET
T1.1



PROPOSED 1ST FLOOR PLAN
3/16" = 1'-0"



REVISIONS	
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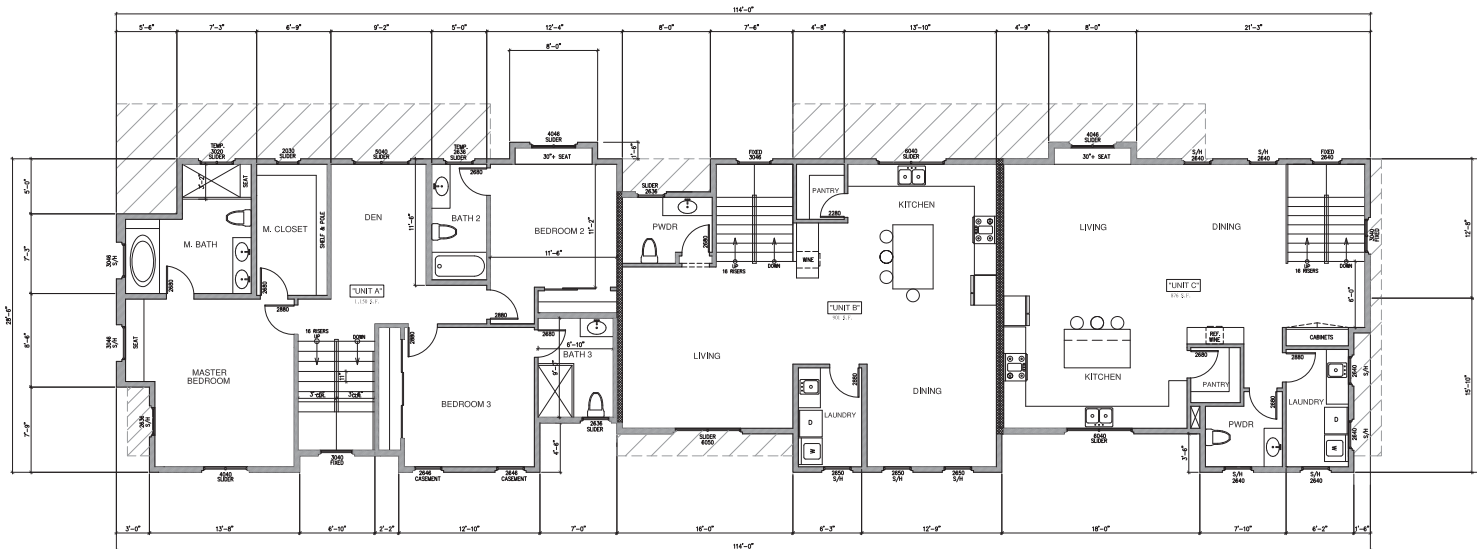
Prestige
Design, Planning, and Development, Inc.
P.O. Box 66000 Arcadia, CA 91706
TEL: 626.441.2222

3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

FIRST FLOOR PLAN

12/10/2020

SHEET
A1.0



PROPOSED 2ND FLOOR PLAN
3/16" = 1'-0"



REVISIONS	
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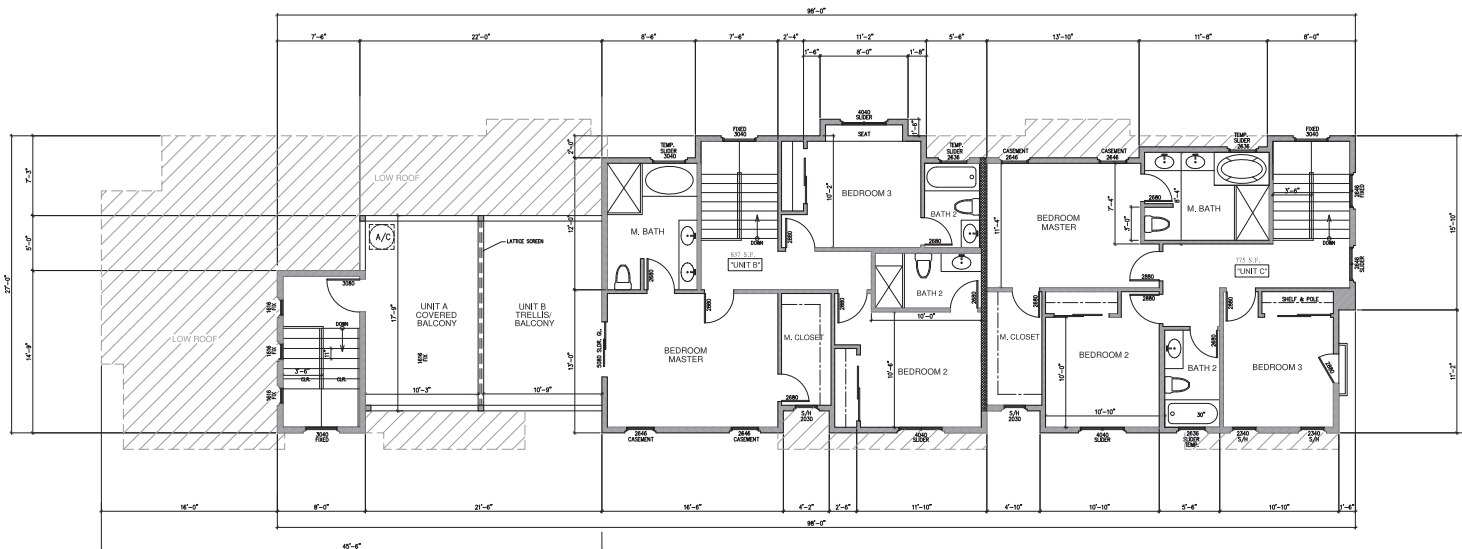
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3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

SECOND FLOOR PLAN

12/10/2020

SHEET
A2.0



PROPOSED 3RD FLOOR PLAN
3/16" = 1'-0"



REVISIONS

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Prestige
Design, Planning, and Development, Inc.
P.O. Box 68000 Arcadia, CA 91006
TEL: 627.400.0000



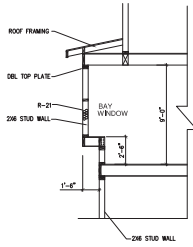
3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

THIRD FLOOR PLAN

12/10/2020

SHEET

A3.0



1 BAY WINDOW SECTION DETAIL



FRONT SOUTH ELEVATION
3/16" = 1'-0"

KEY NOTES:

- 1 — CONC. TILE ROOF OVER 30 LBS. FELT ON ROOF SHEATHING (EAGLE ROOFING PRODUCT)
- 2 — LA HABRA STUCCO— MERLEX P-174 DESERT BEIGE. OR EQUIVALENT.
- 3 — #26 G.A. G.I. FLASHING AT VALLEYS (TYP.) VIEJO WHITE MS-25 COLOR.
- 4 — ALL WINDOW AND DOOR PRECAST MOULDING (COLOR= SALERNO 45) 4" WIDE PRE-CAST CONCRETE ALL ELEVATIONS. MANUFACTURER— PACIFIC STONE OR EQUIVALENT.
- 5 — N/A

- 6 — VINYL WINDOW GRIDS TO BE TAN COLOR OR EQUIVALENT. MANUFACTURER JELD-WEN. SIMULATED LITES.
- 7 — PRE-FAB CONCRETE TRIM (PRE-CAST) SALERNO 45— OR EQUIVALENT.
- 8 — N/A
- 9 — FASCIA PAINTED— DUNN-EDWARDS DEC756 WEATHERED BROWN
- 10 — EXTERIOR DOOR (CHOCOLATE COLOR)
- 11 — WOOD DOOR BY BORANO DOORS, PAINTED DUNN-EDWARDS DEA161 WILD MUSTANG.

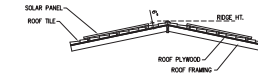
- 12 — AMARR GARAGE DOORS (BROWN COLOR OR EQUIVALENT)
- 13 — LIGHT FIXTURE (PROGRESS LIGHTING) 1—LIGHT WALL LANTERN. HT. 15".
- 14 — RAIN GUTTER— COLOR COATES ALUMINUM, MATTE BLACK COLOR.

GENERAL NOTE:

- 1. RAIN GUTTER TO MATCH FASCIA COLOR & DOWN SPOUT TO MATCH EXTERIOR WALL.
- 2. A SMOOTH-TROWELED FINISH SHALL BE USED FOR THE STUCCO.
- 3. ALL WINDOWS TO BE RECESSED A MIN. OF 2" AT EXTERIOR WALL.

EXTERIOR FINISH NOTE

- 1. EXTERIOR PLASTER (STUCCO) 3/8" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PER [CRC 2510.6]. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING.



2 SOLAR PANEL SECTION DETAIL



REAR NORTH ELEVATION
3/16" = 1'-0"

REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 66000 Arcadia, CA 91006
TEL: 626-444-2222



3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

ELEVATIONS

12/10/2020

SHEET
A5.0

REVISIONS	
1.	
2.	
3.	
4.	

Prestige
Design, Planning, and Development, Inc.
P.O. Box 66000 Arcadia, CA 91006
TEL: 626.444.8000



3-UNIT CONDOMINIUM
147 ALICE STREET
ARCADIA, CA. 91006

ELEVATIONS

12/10/2020

SHEET
A6.0



RIGHT EAST ELEVATION
3/16" = 1'-0"

KEY NOTES:

- | | | |
|---|---|--|
| <p>1 — CONC. TILE ROOF OVER 30 LBS. FELT ON ROOF SHEATHING (EAGLE ROOFING PRODUCT)</p> <p>2 — LA HABRA STUCCO— MERLEX P-174 DESERT BEIGE. OR EQUIVALENT.</p> <p>3 — #26 G.A. G.I. FLASHING AT VALLEYS (TYP.) VIEJO WHITE MS-25 COLOR.</p> <p>4 — ALL WINDOW AND DOOR PRECAST MOULDING (COLOR= SALERNO 45) 4" WIDE PRE-CAST CONCRETE ALL ELEVATIONS. MANUFACTURER— PACIFIC STONE OR EQUIVALENT.</p> <p>5 — N/A</p> | <p>6 — VINYL WINDOW GRIDS TO BE TAN COLOR OR EQUIVALENT. MANUFACTURER JELD-WEN. SIMULATED LITES.</p> <p>7 — PRE-FAB CONCRETE TRIM (PRE-CAST) SALERNO 45— OR EQUIVALENT.</p> <p>8 — EXTERIOR AWNING— FABRIC MATERIAL</p> <p>9 — FASCIA PAINTED— DUNN-EDWARDS DEC756 WEATHERED BROWN</p> <p>10 — EXTERIOR DOOR (CHOCOLATE COLOR)</p> <p>11 — WOOD DOOR BY BORANO DOORS, PAINTED DUNN-EDWARDS DEA161 WILD MUSTANG.</p> | <p>12 — AMARR GARAGE DOORS (BROWN COLOR OR EQUIVALENT)</p> <p>13 — LIGHT FIXTURE (PROGRESS LIGHTING) 1—LIGHT WALL LANTERN. HT. 15".</p> <p>14 — RAIN GUTTER— COLOR COATES ALUMINUM, MATTE BLACK COLOR.</p> |
|---|---|--|

GENERAL NOTE:

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- EXTERIOR FINISH NOTE**
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LEFT WEST ELEVATION
3/16" = 1'-0"

PLANTING LEGEND

SHRUBS

- 15 GAL. PRUNUS CAROLINIANA 'COMPACTA' CAROLINA CHERRY (M) @ 4" O.C.
- 5 GAL. CUPRESSUS S. 'MONSIEUR' TINY TOWER ITALIAN CYPRESS (L) @ 36" O.C.

SHRUBS

- 5 GAL. SALVIA L. 'SANTA BARBARA' MEXICAN SAGE BUSH (L) @ 24" O.C.
- 5 GAL. CALLISTEMON 'LITTLE JOHN' LITTLE JOHN BOTTLEBRUSH (L) @ 24" O.C.
- 5 GAL. JUNCUS PATENS CALIFORNIA GREY RUSH (L) @ 24" O.C.
- 5 GAL. DIANELLA REVOLUTA 'LITTLE REV' LITTLE REV FLAX LILY (L) @ 24" O.C.
- 5 GAL. ROSA 'MIDLAND PINK' PINK MIDLAND SHRUB ROSE (M) @ 24" O.C.
- 5 GAL. RHAPHIOLEPIS U. 'MINOR' DWARF YEDDO HAWTHORN (M) @ 36" O.C.
- 5 GAL. LAVANDULA 'HIDCOTE BLUE' 'HIDCOTE BLUE' LAVENDER (L) @ 24" O.C.
- 5 GAL. COLCOTEMA PULCHRUM PINK BREATH OF HEAVEN (M) @ 36" O.C.

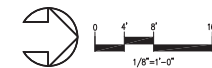
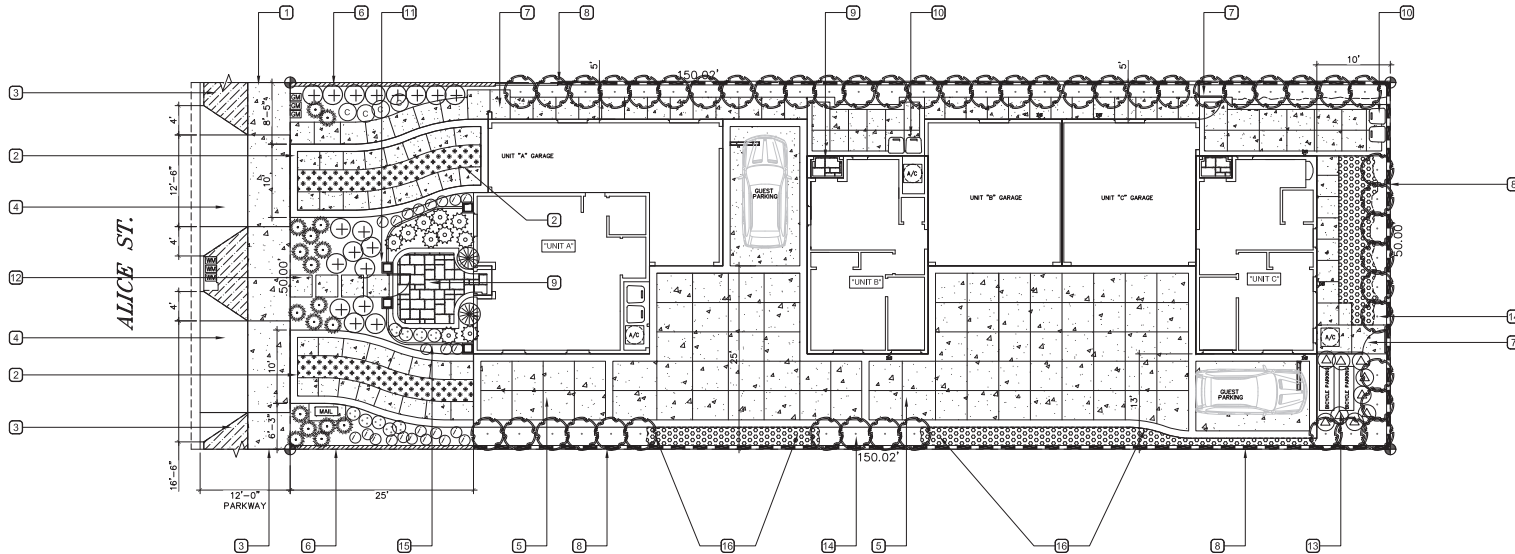
SHRUBS

- 1 GAL. LANIGOZANTHOS 'RED STAR' RED KANGAROO PAW (L) @ 18" O.C.
 - 1 GAL. LANTANA 'NEW GOLD' DWARF LANTANA (L) @ 18" O.C.
 - 1 GAL. DYMONDIA MARGARETAE SILVER CARPET (L) @ 8" O.C.
 - 1 GAL. FESTUCA 'ELIJAH BLUE' BLUE FESCUE (M) @ 12" O.C.
- ARTIFICIAL TURF

DESCRIPTIONS:

1. EXISTING SIDEWALK
2. NEW ACID WASH CONCRETE DRIVEWAY WITH 36" ARTIFICIAL GRASS STRIP
3. REMOVE EXISTING TURF AND PLANT NEW DROUGHT TOLERANT GROUND COVER IN PARKWAY
4. NEW DRIVE APPROACH
5. NEW CONCRETE DRIVEWAY WITH 12" SCORED BORDER, STRAIT PATTERN AS SHOWN
6. NEW 36" CMU WALL WITH STUCCO TO MATCHING BUILDING
7. NEW 6" W.I. SIDE GATE ATTACHED TO NEW 6" W.I. FENCE, W.I. FENCE TO CONNECT TO EXISTING 6" CMU WALL
8. EXISTING 6" CMU PROPERTY WALL TO REMAIN WITH NEW STUCCO COLOR TO MATCHING BUILDING
9. NEW STONE PAVERS AT PORCH; TYP.
10. AREA INDICATES TRASH RECEPTACLE LOCATIONS
11. NEW 36" HT. X 24" SQ. 'UNIT-A' PEDESTRIAN GATE
12. NEW CONCRETE STEPPING STONE WITH 6" CRUSHED GRAVEL GAP
13. AREA INDICATES SPACE FOR BICYCLE PARKING/RACKS
14. NEW 'CAROLINA CHERRY' TALL SCREEN HEDGE ALONG PROPERTY WALL PER PLANNING CONDITION
15. NEW 36" HT. W.I. FENCE FOR UNIT-A
16. GROUND COVER FOR CAR-OVER-HANG, 25' FROM PARKING BACK-OUT SPACES

- NOTE:**
1. APPLY 3" MIN. OF ORGANIC BARK MULCH IN ALL FINISHED GRADE AFTER PLANTING
 2. MUCOLS REGION 4 HYDROZONE: (L)OW, (W)T WARM SEASON TURF



TWO TREES DESIGN, INC.
 LANDSCAPE ARCHITECTURAL DESIGN SERVICES
 1155 S. STATE ST. SUITE 207, WEST COVINA, CA. 91792
 (626) 971-8881
 www.twtreesdesign.com



CONCEPTUAL LANDSCAPE PLAN

3-UNIT CONDOMINIUM
 147 ALICE ST.
 ARCADIA, CA. 91006

DATE	REVISIONS

SCALE	AS SHOWN
DATE	11-20-2020
PROJECT NO.	F1914
DRAWN BY	HTF
CHECKED BY	

SHEET NO.
 OF 1 SHEETS

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Attachment No. 5

Preliminary Exemption Assessment



CITY OF
ARCADIA

PRELIMINARY EXEMPTION ASSESSMENT

1. Name or description of project:	MFADR 19-04 and TPM 20-03 (83113) – A tentative parcel map for a three-unit residential condominium development with a Categorical Exemption under the California Environmental Quality Act (“CEQA”)								
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):	147 Alice Street (Alice Street & S. 2 nd Avenue)								
3. Entity or person undertaking project:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">A.</td> </tr> <tr> <td colspan="2" style="padding: 2px;">B. Other (Private)</td> </tr> <tr> <td style="width: 15%; padding: 2px;">(1) Name</td> <td style="padding: 2px;">Tom Li of Prestige Design, Planning & Development, Applicant</td> </tr> <tr> <td style="padding: 2px;">(2) Address</td> <td style="padding: 2px;">PO Box 660866 Arcadia, CA 91066</td> </tr> </table>	A.		B. Other (Private)		(1) Name	Tom Li of Prestige Design, Planning & Development, Applicant	(2) Address	PO Box 660866 Arcadia, CA 91066
A.									
B. Other (Private)									
(1) Name	Tom Li of Prestige Design, Planning & Development, Applicant								
(2) Address	PO Box 660866 Arcadia, CA 91066								
4. Staff Determination:	<p>The Lead Agency’s Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency’s "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:</p>								
a. <input type="checkbox"/>	The proposed action does not constitute a project under CEQA.								
b. <input type="checkbox"/>	The project is a Ministerial Project.								
c. <input type="checkbox"/>	The project is an Emergency Project.								
d. <input type="checkbox"/>	The project constitutes a feasibility or planning study.								
e. <input checked="" type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project is categorically exempt.</td> </tr> <tr> <td style="width: 40%; padding: 2px;">Applicable Exemption Class:</td> <td style="padding: 2px;">15332 – Class 32 (In-Fill Development)</td> </tr> </table>	The project is categorically exempt.		Applicable Exemption Class:	15332 – Class 32 (In-Fill Development)				
The project is categorically exempt.									
Applicable Exemption Class:	15332 – Class 32 (In-Fill Development)								
f. <input type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project is statutorily exempt.</td> </tr> <tr> <td style="width: 40%; padding: 2px;">Applicable Exemption:</td> <td style="padding: 2px;"></td> </tr> </table>	The project is statutorily exempt.		Applicable Exemption:					
The project is statutorily exempt.									
Applicable Exemption:									
g. <input type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%; padding: 2px;">The project is otherwise exempt on the following basis:</td> <td style="padding: 2px;"></td> </tr> </table>	The project is otherwise exempt on the following basis:							
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h. <input type="checkbox"/>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="padding: 2px;">The project involves another public agency, which constitutes the Lead Agency.</td> </tr> <tr> <td style="width: 40%; padding: 2px;">Name of Lead Agency:</td> <td style="padding: 2px;"></td> </tr> </table>	The project involves another public agency, which constitutes the Lead Agency.		Name of Lead Agency:					
The project involves another public agency, which constitutes the Lead Agency.									
Name of Lead Agency:									

Date: January 26, 2021

Staff: Luis Torrico, Senior Planner

Public comment received after Staff Report was published

Luis Torrico

From: Mailbox - Planning
Sent: Tuesday, January 26, 2021 4:05 PM
To: Luis Torrico; Lisa Flores
Subject: FW: Public hearing tonight for Alice st. comment

From: Rachel McHenry <rachelmc7@gmail.com>
Sent: Tuesday, January 26, 2021 2:45 PM
To: Mailbox - Planning <planning@ArcadiaCA.gov>
Subject: Public hearing tonight for Alice st. comment

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Planning Commission & Project Planner,

I am one of the residents currently living at this property. When this property was purchased by a luxury condo development corporation I knew my homestay would soon end but not during a health & housing crisis. Understand this property will soon be developed into a three story, 3 unit condominiums. While other neighborhood tenants are also being submitted to these no-fault evictions like myself, others are unable to pay their current rent, while a surge of others are competitively searching for affordable rent due to job loss and financial restraints that has vastly impacted the rental housing market. Requesting additional time for myself and the other 3 individuals who live here to locate appropriate housing. Given the current situation, an official notice of at least 6 months (contrary to 60 days Soleil mgmt purview) to vacate the property would be practical and much appreciated among us Arcadia tenants. The likelihood of the next development rapidly recovering from any financial losses due to this delay, is likely assured.

Thank you for understanding,
Rachel McHenry
cell: 805-304-6112

Attachment No. 8

Preliminary Exemption Assessment



CITY OF
ARCADIA

PRELIMINARY EXEMPTION ASSESSMENT

1. Name or description of project:	MFADR 19-04 and TPM 20-03 (83113) – A tentative parcel map for a three-unit residential condominium development with a Categorical Exemption under the California Environmental Quality Act (“CEQA”)	
2. Project Location – Identify street address and cross streets or attach a map showing project site (preferably a USGS 15’ or 7 1/2’ topographical map identified by quadrangle name):	147 Alice Street (Alice Street & S. 2 nd Avenue)	
3. Entity or person undertaking project:	A.	
	B. Other (Private)	
	(1) Name	Tom Li of Prestige Design, Planning & Development, Applicant
	(2) Address	PO Box 660866 Arcadia, CA 91066
4. Staff Determination: The Lead Agency’s Staff, having undertaken and completed a preliminary review of this project in accordance with the Lead Agency’s "Local Guidelines for Implementing the California Environmental Quality Act (CEQA)" has concluded that this project does not require further environmental assessment because:		
a. <input type="checkbox"/>	The proposed action does not constitute a project under CEQA.	
b. <input type="checkbox"/>	The project is a Ministerial Project.	
c. <input type="checkbox"/>	The project is an Emergency Project.	
d. <input type="checkbox"/>	The project constitutes a feasibility or planning study.	
e. <input checked="" type="checkbox"/>	The project is categorically exempt.	
	Applicable Exemption Class:	15332 – Class 32 (In-Fill Development)
f. <input type="checkbox"/>	The project is statutorily exempt.	
	Applicable Exemption:	
g. <input type="checkbox"/>	The project is otherwise exempt on the following basis:	
h. <input type="checkbox"/>	The project involves another public agency, which constitutes the Lead Agency.	
	Name of Lead Agency:	

Date: February 9, 2021

Staff: Luis Torrico, Senior Planner



**ARCADIA PLANNING COMMISSION
REGULAR MEETING MINUTES
TUESDAY, JANUARY 26, 2021**

CALL TO ORDER Chair Wilander called the meeting to order at 7:00 p.m. in the Council Chamber.

She also informed the public of a call-in number that was established for public comments.

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT: Chair Wilander
PRESENT (Via telephone): Vice Chair Lin, Chan, and Thompson
ABSENT: None

SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

Planning & Community Development Administrator Lisa Flores announced that staff received one late correspondence related to Agenda Item No. 2 which would be read into the record during the public hearing for the item.

PUBLIC COMMENTS (5 minute time limit per person)

There were none.

PUBLIC HEARING

1. **Resolution No. 2070** – Approving Conditional Use Permit No. CUP 19-17 with a Categorical Exemption under the California Environmental Quality Act (CEQA) to allow the sale of beer and wine for on-site consumption within an existing full-service restaurant at 815 W. Naomi Avenue, Suite F

Recommendation: Adopt Resolution No. 2070

Applicant: Young Min Chung, on behalf of MKZ Global Corp

Chair Wilander introduced the item and turned it over to Senior Planner Luis Torrico to present the staff report.

Chair Wilander asked if the Applicant would like to speak on the item.

The Applicant responded and was available to answer any questions.

Chair Wilander opened the public hearing.

There were no callers.

MOTION- PUBLIC HEARING

Any writings or documents provided to a majority of the Planning Commission regarding any item on this agenda will be made available for public inspection in the City's Planning Services Office located at 240 W. Huntington Drive, Arcadia, California, during normal business hours.

It was moved by Commissioner Thompson, seconded by Vice Chair Lin to close the public hearing. Without objection, the motion was approved.

DISCUSSION

There was a consensus amongst the Commissioners that the sale of beer and wine would be an appropriate addition to the existing Shabu Shabu restaurant.

Commissioner Thompson added that the business has been in operation since 2018, and this use is compatible with the other businesses in the center. The application was reviewed by all applicable city departments, including the Arcadia Police Department and no concerns were raised.

MOTION

It was moved by Commissioner Thompson, seconded by Vice Chair Lin to adopt Resolution No. 2070, approving Conditional Use Permit No. CUP 19-17 with a Categorical Exemption under the California Environmental Quality Act (CEQA) to allow the sale of beer and wine for on-site consumption within an existing full-service restaurant at 815 W. Naomi Avenue, Suite F

ROLL CALL

AYES: Chair Wilander, Vice Chair Lin, Chan, and Thompson
NOES: None
ABSENT: None

There is a ten day appeal period after the adoption of the Resolution. Appeals are to be filed by 5:30 p.m. on Monday, February 5, 2021.

- Resolution No. 2071** – Approving Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), with a Categorical Exemption under the California Environmental Quality Act (CEQA) for a three-unit, multi-family residential condominium development at 147 Alice Street

Recommendation: Adopt Resolution No. 2071

Applicant: Tom Li of Prestige Design, Planning & Development, on behalf of the Property Owner, Soliel Homes, Inc.

Chair Wilander introduced the item and turned it over to Senior Planner Luis Torrico to present the staff report.

Chair Wilander asked if the Applicant would like to speak on the item.

Mr. Li responded.

Chair Wilander opened the hearing for public comments. Ms. Abeyta informed the Commission there was one person on the line.

Rachel McHenry, a current tenant of the subject site, expressed concern with relocating during the Covid-19 pandemic with just a 60-day notice. She requested at least a six (6) month notice to secure housing prior to the construction of this project.

Ms. Flores noted that Ms. McHenry also provided a written comment and a copy of that email was already distributed to the Planning Commission.

Mr. Li responded to Ms. McHenry and stated that delaying the project would be up to the property owner; that being said, it typically takes approximately 6-8 months before permits are issued following the approval of a project.

Commissioner Chan inquired as to what eviction protections are available at the City level.

Ms. Flores stated that the City does not have an eviction ordinance, but the property owner would be required to comply with the eviction laws, and the tenants will have whatever rights they have under the laws. The City Council elected to defer the County's eviction moratorium, and so the City Council does not have an eviction policy.

MOTION- PUBLIC HEARING

It was moved by Commissioner Chan, seconded by Vice Chair Lin to close the public hearing. Without objection, the motion was approved.

DISCUSSION

Commissioner Chan thought it was a good project; he expressed concern with tenant relocation, given the absence of a definite time frame from the Applicant. He wondered if the Planning Commission could address this through the conditions of approval and provide a time frame such as requiring a 90-120 day notice from the meeting.

Commissioner Thompson was concerned with the functionality of the proposed vehicular ingress and egress of the site, and the location and small size of the garages. Although the report noted that similar projects have been approved, the Code allows for a case by case basis evaluation of projects. He referenced several articles and the findings of a transportation engineer to support his analysis. He would support a redesign of the project units to make this a functional development.

Vice Chair Lin was also concerned with eviction issues, and he asked for clarification from Assistant City Attorney Maurer as to what authority the Planning Commission has on this matter, if any. With regard to parking, he expressed the challenge of evaluating parking requirements based upon practicality, given the parking meets City Code, which may not be sufficient to deny the project. Parking has been an ongoing concern in projects such as this.

Chair Wilander sympathized with the tenant, however she is not inclined to make specific action on these issues beyond what the law states. She noted the narrow lot could be reconfigured with two (2) units rather than three (3). She would like to study the practicality of parking further, and suggested continuing the item to the next meeting until further study can be conducted.

Mr. Maurer spoke to several of the concerns raised by the commissioners. He explained ownership or tenancy issues are typically outside of the scope of the Planning Commission. Absent a City Ordinance, the property owner and tenants would need to defer to Los Angeles County or the State of California laws

pertaining to evictions. With regard to parking, he recommended that the public hearing be reopened to allow the Applicant to respond before there is any consideration to continue the project.

MOTION

It was moved by Commissioner Thompson seconded by Vice Chair Lin to reopen the public hearing. Without objection, the motion was approved.

Mr. Li presented several images of an adjacent property of similar size and ingress/egress configuration; he has heard of no issues with ingress and egress at this site; people tend to drive smaller cars now with sensors to assist; he was able to maneuver without much difficulty at the neighboring site; the lot is narrow but they have done their best to design the project within the Code requirements given the lot limitations.

Commissioner Thompson asked if an outside study was done to take into account ingress and egress and turning radius for various vehicles.'

Mr Li explained that the project meets the Code requirements, and although there was no study performed by an outside engineer, the plans were reviewed by all City departments, including the City Engineer.

Vice Chair Lin inquired as to whether he would be open to continuing the hearing and providing further study on the matter.

Mr. Li stated that he would need to defer to the property owner, given the study would require additional time and money; the project meets the Code requirements and has been reviewed by City staff who have deemed the project acceptable.

Chair Wilander asked about the size of the vehicle which was shown in the images provided by Mr. Li. Staff noted the vehicle is less than 15 feet in length.

MOTION- PUBLIC HEARING

Without further questions of the Applicant, it was moved by Commissioner Thompson, seconded by Vice Chair Lin to close the public hearing.

Commissioner Chan acknowledged that while ingress and egress to the proposed garages may be tight, and while the garages may be small, the market will dictate the success of this project and that the developer maintains the responsibility of getting these units occupied. Further traffic studies by a hired engineer may not result in an unbiased analysis; an unbiased review has already been completed by the City Engineer.

Commissioner Thompson is not inclined to request a continuance, given the Applicant does not want to conduct further study, but he is not inclined to approve the project without a redesign or reconfiguration to make this a functional project.

Vice Chair Lin agreed with Commissioner Chan that he does not feel comfortable denying the application based upon impracticality of ingress and egress to the garage. Further study would require additional cost on behalf of the property owner, or the City. He does not feel a continuation is necessary unless the Applicant is open to providing additional information.

Chair Wilander does not think an outside traffic study is necessary per say, but she would not be in favor of approval of the project at this time without additional information.

Assistant City Manager/Development Services Director Jason Kruckeberg stated that staff can provide additional information as needed with additional direction from the Commissioners. Staff can review similar projects but if the development standards are the issue, then that is a separate issue for staff to consider on a broader scale.

MOTION

It was moved by Vice Chair Lin, seconded by Commissioner Chan to adopt Resolution No. 2071, approving Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), with a Categorical Exemption under the California Environmental Quality Act (CEQA) for a three-unit, multi-family residential condominium development at 147 Alice Street

ROLL CALL

AYES: Vice Chair Lin, and Chan
NOES: Chair Wilander, and Thompson
ABSENT: None

The motion failed on a 2-2 vote.

SECONDARY MOTION

Upon discussion of a continuance of the item, Ms. Flores requested for clarification as to why type of studies the Commission would like to see, if any.

Vice Chair Wilander requested more information on the functionality of the ingress and egress at the site, and the functionality of the garages and if two cars can be parked within the garage.

It was moved by Chair Wilander to continue Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), with a Categorical Exemption under the California Environmental Quality Act (CEQA) for a three-unit, multi-family residential condominium development at 147 Alice Street to the February 9, 2021 meeting with additional studies of the ingress/egress at the site and study of the garages.

This motion failed with no second.

Mr. Maurer provided clarity as to the available motions which could be made given the failure of the first two (2) motions, and what is required of a denial motion including addressing the findings that support denial. If a majority decision cannot be made, then he recommends exhausting all potential motions. If there is no motion for denial, then a motion to continue would be recommended before proceeding.

Mr. Kruckeberg added that the appointment of a new Planning Commissioner is pending approval by the City Council, which would provide an additional vote should there be a tie vote at the next meeting.

FINAL MOTION

Vice Chair Lin indicated he would move to continue the item to the February 9, 2021 meeting. When asked if that includes additional staff information, he stated his motion is to continue the item as is, without additional staff information.

It was moved by Vice Chair Lin, seconded by Commissioner Chan to continue Multiple Family Architectural Design Review No. MFADR 19-04 and Tentative Parcel Map No. TPM 20-03 (83113), with a Categorical Exemption under the California Environmental Quality Act (CEQA) for a three-unit, multi-family residential condominium development to the February 9, 2021 Planning Commission meeting

ROLL CALL

AYES: Chair Wilander, Vice Chair Lin, Chan, and Thompson
NOES: None
ABSENT: None

The item was continued, as is, to the February 9, 2021 Planning Commission Meeting. Commissioner Thompson noted that he would like to see additional information from a traffic engineer on ingress and egress at the site.

CONSENT CALENDAR

- 3. Minutes of the December 22, 2020 Regular Meeting of the Planning Commission

Recommendation: Approve

It was moved by Vice Chair Lin, seconded by Commissioner Thompson to approve the minutes of the December 22, 2020 Planning Commission Regular Meeting.

ROLL CALL

AYES: Chair Wilander, Vice Chair Lin, Chan, and Thompson
NOES: None
ABSENT: None

MATTERS FROM CITY COUNCIL LIAISON

Council Liaison Cheng confirmed that the City Council will be appointing a new Planning Commissioner. The City Council and staff have been working diligently to bring a vaccination center to the City, hopefully by February.

MATTERS FROM THE PLANNING COMMISSONERS

Commissioner Thompson inquired about the bi-weekly modified trash removal schedule in the City.

Mr. Kruckeberg informed the Commission that the trash removal schedule is set to return to normal February 1, 2021; Commissioner Chan received a mailer and confirmed this date.

MATTERS FROM ASSISTANT CITY ATTORNEY

Mr. Maurer stated that he would provide a report to the Commission on legislation as it becomes available this year.

MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS

Ms. Flores announced that the item continued this evening will be the only item for the February 9, 2021 agenda. Additionally, the Planning Commissioners Academy will be taking place virtually this year and she will be reaching out to the Commissioners at a later date to see who would be interested in attending.

ADJOURNMENT

The Planning Commission adjourned the meeting at 8:29 p.m. to Tuesday, February 9, 2021 at 7:00 p.m. in the City Council Chamber for the next virtual meeting.

Marilynne Wilander
Chair, Planning Commission

ATTEST: _____
Lisa Flores
Secretary, Planning Commission